Planning Zoning Historic Preservation Division
1900 2nd Avenue North
Lake Worth Beach, FL 33461
561.586.1687

AGENDA
CITY OF LAKE WORTH BEACH
HISTORIC RESOURCES PRESERVATION BOARD REGULAR MEETING
CITY HALL COMMISSION CHAMBER
WEDNESDAY, SEPTEMBER 08, 2021 -- 6:00 PM

ROLL CALL and RECORDING OF ABSENCES

PLEDGE OF ALLEGIANCE

ADDITIONS / DELETIONS / REORDERING AND APPROVAL OF THE AGENDA

APPROVAL OF MINUTES:

A. July 14, 2021 Regular Meeting Minutes

CASES

SWEARING IN OF STAFF AND APPLICANTS

PROOF OF PUBLICATION

1) 307 North L Street
   617 North K Street

WITHDRAWLS / POSTPONEMENTS

CONSENT

PUBLIC HEARINGS:

BOARD DISCLOSURE

UNFINISHED BUSINESS:

A. **HRPB Project Number(s) 21-00100119 and 21-01500004:** A Certificate of Appropriateness (COA) for exterior alterations and a variance from base flood elevation requirements of the Florida Building Code for the detached garage located at **732 North Palmway**; PCN #38-43-44-21-15-228-0080. The subject property is located within the Single-Family Residential (SF-R) zoning district and is a contributing resource to the Northeast Lucerne Local Historic District.

B. **HRPB Project Number 19-00100107:** Consideration of a Completed Work Application (Part III) for a Historic Preservation Ad Valorem Tax Exemption and a recommendation to the City Commission for a Historic Preservation Ad Valorem Tax Exemption for the subject property located at **1020 South Lakeside Drive**; PCN#38-43-44-27-01-042-0010. The subject property is a contributing resource to the South Palm Park Local Historic District and is located within the Single-Family Residential (SF-R) zoning district.

NEW BUSINESS:

A. **HRPB Project Number 21-00100250:** Consideration of a Certificate of Appropriateness (COA) for the construction of four (4) new ± 1,489 square foot single-family structures on Lots 27, 28, 29, and 30 of Block 90 at **307 North L Street**; PCN #38-43-44-21-15-090-0270. The subject property is located in the Low-Density Multi-Family Residential (MF-20) zoning district and the Northeast Lucerne Local Historic District.

B. **HRPB Project Number 21-00100222:** Consideration of a Certificate of Appropriateness (COA) for the construction of a new +/- 1,790 square foot addition for the single-family residence at **320 North Lakeside Drive**; PCN #38-43-44-21-15-430-0050. The subject property is located within the Single-Family Residential (SF-R) zoning district and is a contributing resource to the Old Lucerne Local Historic District.

C. **HRPB Project Number 21-00100182:** Consideration of a Certificate of Appropriateness (COA) for the construction of a new ± 1,462 square foot single-family structure and a ± 650 square foot accessory structure at **617 North K Street**; PCN #38-43-44-21-15-178-0240. The subject property is located in the Single-Family and Two-Family Residential (SF-TF 14) zoning district and the Northeast Lucerne Local Historic District.

PLANNING ISSUES:

PUBLIC COMMENTS: (3 minute limit)

DEPARTMENT REPORTS:

BOARD MEMBER COMMENTS:

ADJOURNMENT

If a person decides to appeal any decision made by the board, agency or commission with respect to any matter considered at such meeting or hearing, he or she will need a record of the proceedings, and that, for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. (F.S. 286.0105)

NOTE: ALL CITY BOARDS ARE AUTHORIZED TO CONVERT ANY PUBLICLY NOTICED MEETING INTO A WORKSHOP SESSION WHEN A QUORUM IS NOT REACHED. THE DECISION TO CONVERT THE MEETING INTO A WORKSHOP SESSION SHALL BE DETERMINED BY THE CHAIR OR THE CHAIR'S DESIGNEE, WHO IS PRESENT AT THE MEETING. NO OFFICIAL ACTION SHALL BE TAKEN AT THE WORKSHOP SESSION, AND THE MEMBERS PRESENT SHOULD LIMIT THEIR DISCUSSION TO THE ITEMS ON THE AGENDA FOR THE PUBLICLY NOTICED MEETING. *(Sec. 2-12 Lake Worth Code of Ordinances)*

Note: One or more members of any Board, Authority or Commission may attend and speak at any meeting of another City Board, Authority or Commission.

City of Lake Worth Beach FLORIDA

Planning Zoning Historic Preservation Division
1900 2nd Avenue North
Lake Worth Beach, FL 33461
561.586.1687

MINUTES
CITY OF LAKE WORTH BEACH
HISTORIC RESOURCES PRESERVATION BOARD REGULAR MEETING
CITY HALL COMMISSION CHAMBER
WEDNESDAY, JULY 14, 2021 -- 6:00 PM

ROLL CALL and RECORDING OF ABSENCES: Present were: William Feldkamp Chairman; Bernard Guthrie Vice-Chairman; Judith Fox; Robert D'Arinzo; Geoffrey Harris; Stephen Pickett. Also present were: Abraham Fogel, Preservation Planner; Jordan Hodges, Senior Preservation Coordinator; Erin Sita, Assistant Director for Community Sustainability; Susan Garrett, Board Attorney; Sherie Coale, Board Secretary.

PLEDGE OF ALLEGIANCE

ADDITIONS / DELETIONS / REORDERING AND APPROVAL OF THE AGENDA

Item C for New Business- The applicant has requested the item be postponed until the August meeting.

Motion: R. D'Arinzo moves to continue New Business Item C HRPB Project Number 19-00100107 to the August 11, 2021 meeting; J. Fox 2nd.

Vote: Ayes all, unanimous.

APPROVAL OF MINUTES: None

CASES

SWEARING IN OF STAFF AND APPLICANTS- Board Secretary administered oath to those wishing to give testimony.

PROOF OF PUBLICATION

1) Lake Worth Herald Proof of Publication
   129 South K Street
   732 North Palmway
   131 South Palmway

WITHDRAWLS / POSTPONEMENTS: None - New Business Item C only.

CONSENT: None

PUBLIC HEARINGS:

BOARD DISCLOSURE: S. Pickett received phone calls and an email regarding 1130 S Lakeside Drive, also met on site with a planning representative and the architect**.**

J. Fox- Spoke with architect for the1130 property on phone.

B. Guthrie-Had communications with the architect regarding the property at 1130 S. Lakeside Drive.

W. Feldkamp looked at drawings with the architect for 1130 S Lakeside Drive.

R. D'Arinzo visited the site at 1130 S. Lakeside Drive.

G. Harris was contacted by the architect for 1130 S Lakeside Drive but never met with him at the site.

UNFINISHED BUSINESS:

A. HRPB Project Number 20-00100273: Consideration of a Certificate of Appropriateness (COA) for the construction of a new ± 7,328 square foot (± 5,217 square feet air-conditioned) single-family structure located at **1130 South Lakeside Drive**; PCN #38-43-44-27-01-051-0010. The subject property is located in the Single-Family Residential (SF-R) zoning district and is located within the South Palm Park Local Historic District.

Staff: J. Hodges presents case findings and analysis presents a brief history of the parcel of land. The Board previously approved a demolition of structures on the parcel. A lot split was also granted allowing for two 75-foot wide lots. The garage space, placed forward of the residence, is uninhabitable and as such is not required to meet base flood elevation. The forward placement obscures the additional foundation height required to make the 1st floor in compliance with Florida Building Code. It is a 3- D printed home. Generally compatible with visibility criteria, Streamline moderne style is austere in terms of ornamentation, emphasizes simple geometry by utilizing curvilinear forms, long horizontal lines and occasional nautical elements such as rooftop railings and porthole windows. Other characteristic features are deep, staggered, cantilevered overhangs with horizontal railings; smooth stucco and a regular fenestration pattern. The horizontal details and stepped massing draw the eyes downward as the building is taller than surrounding structures. Curved walls at the entry point and a cylindrical tower feature are found on the south and southeast facades. The project is largely compatible with the architectural style.

Review of Conditions of Approval are reviewed

Agent for the Applicant - Wes Blackman; **Architect** - Ken Brower Property Owner - Jim Ritter The runoff is channeled into the cistern of 21K gallons to be used for irrigation of yard. **Board:** S. Pickett hoped the 3-D printing process could be explained. **Architect:** Possible game changer in industry. Computer driven on-site. Concrete mix trucks show up and drop in layers of anywhere from 3/4 inch to 1-1/2 inches thick; the print head is about 6-8 inches in width. Provided the hopper is kept full, the process could continue 24 hours excepting allowable hours of construction.

Board: J. Fox was concerned about the height and water retention on site but understands the cistern concept. B. Guthrie notes it would be nice to add a porthole on west elevation or garage wall- **Response**: Architect would be glad to add portholes. Regarding the setback one foot from property line. **Staff:** Clarifies the walls are allowed to go to the sideline, only flat paved surfaces should be held off the property line by one foot. B. Guthrie-what are the hours for construction? **Response** – governed by code; 8am -7pm weekdays. With respect to the encroachment on south, owner's previous response was that he would not remove the chain link fence located on the City property, the encroachment it is not on his property, despite having been placed there by a previous owner.

G. Harris- Is there any railing detail? **Response:** Standard cable system. Is the entire house being printed including the walls and columns? **Response:** Yes, everything will be 3-D printed, some of the larger flat pieces will be printed on site and lifted into place. The entire building will be stuccoed after printed. R. D'Arinzo and W. Feldkamp questions have been answered.

Public Comment: Jim Kelley 1202 Lakeside Drive to the south. His concern is the seven (7) foot berm that essentially directs the water (runoff) toward his property as it is required to be elevated. Suggests the drainage pipe has no slope, is level with the intracoastal. City should look at R-O -W to handle water runoff from street. 2nd concern is the traffic and visibility near the subject parcel. Although he respects the design, it doesn't conform to his 1924 house.

Board: S. Pickett states it is an interesting project and it will be exciting to see it in progress. B. Guthrie questions the amount of noise generated by the continuous pumping of concrete, how long will it take? Regarding the fence, will the applicant be required to clean up the fence?

Staff: The applicant cannot be compelled to do so as it is not on his property. He would need to agree. Applicant shall remove the segment of fence as previously installed on the city property as permitted by the appropriate City Department (Public Works).

Condition #15: The applicant shall agree to the removal of the fence prior to the issuance of a Certificate of Occupancy subject to the approval of the appropriate City Department.

Motion: B. Guthrie moves to approve HRPB 20-00100273 with staff recommended conditions of approval including the addition of Condition #15 based upon competent substantial evidence in the staff report and pursuant to the City of Lake Worth Beach Land Development Regulations and Historic Preservation requirements; R. D'Arinzo 2nd.

Architect: Questions whether the added condition is a recommendation or requirement. **Staff response:** It is a condition that is being agreed upon.

Vote: Ayes all, unanimous.

B. HRPB Project Number 21-00100135: Consideration of Certificate of Appropriateness (COA) for roof replacement and an Unreasonable Economic Hardship Application for an Income Property for the property located at **326 Columbia Drive**; PCN #38-43-44-15-06-001-0110. The subject property is a contributing resource within the College Park Local Historic District and is located within the Single-Family Residential (SF-R) zoning district.

Staff: A. Fogel presents case findings and analysis. In the masonry vernacular architectural style it maintains historic integrity. The property file reveals only that the roof has never received a permit for replacement, it is most likely the original roof. The structure was designated contributing in 1996. The tiles are still manufactured and available. As a character defining feature, the flat white concrete tile is the appropriate replacement providing the needed horizontality that is seen throughout the construction. The Design Guidelines label asphalt shingles as an unsuccessful replacement for flat white concrete tile. The estimated difference in cost between asphalt shingle and compliant white flat concrete tile is $6,000.00. The burden of the hardship shall be upon the applicant to demonstrate the requirement will cause an unreasonable economic hardship for the property owner. The item was continued from the June 16, 2021 agenda as the applicant was not in attendance to respond to Board questions.

Applicant: No additional information.

Board: B. Guthrie does not believe there is a hardship. J. Fox- Clarifies that this is the third of three rental properties and the other two (2) properties are okay.

Applicant states she inherited several properties from parents. They were in bad shape when they received from her parents and have paid off the code issues. This is the last to be repaired, it has been vacant since January and cannot afford it.

Board: S. Pickett- Did the roof need to be replaced or is this just something being pursued? **Applicant Response:** There are a few leaks, nothing horrible. Contractors do not want to repair leaks only a full replacement. They've had no tenants since January.

Public Comment: None

Board: B. Guthrie is concerned about the application for economic hardship for an income property. Board is cognizant of importance of a homesteaded property applying for the hardship. The threshold should be higher for an income property. The 6K difference will affect the neighborhood for the next 20-30 years. A tile will last longer and look better and is stylistically proper.

Applicant states many roofs in the area have been changed to asphalt shingle. States that 6K alone does not seem onerous however when combined with the previous monies spent and not recouping any funds, it seems to be a hardship.

W. Feldkamp concurs with other Board members in not seeing a hardship especially as there are no major leaks. Suggests waiting until the roof needs replaced, until then save for the expense. J. Fox – with two other income producing properties, write off this repair on the taxes. S. Pickett – the financial situation appears to be a temporary situation. Once the roof is gone its gone. There is no mortgage. B. Guthrie has concerns about replacing the asphalt shingles in perpetuity mentioning those changed before the implementation of the Historic Ordinance. Suggestions of an equity loan to finance the roof. G. Harris doesn't see any relief as the precedent would be set for asphalt roofing going forward.

Motion: J. Fox moves to deny HRPB 21-00100135 as the applicant has not established by competent substantial evidence that the request is consistent with the City of Lake Worth Bach Land Development Regulations and Historic Preservation requirements because replacing the roof with a Design Guidelines compliant roof does not pose an unreasonable economic hardship. S. Pickett 2nd.

Vote: Ayes all, unanimous.

NEW BUSINESS:

A. HRPB Project Number 21-00100087: A Certificate of Appropriateness (COA) for the construction of a new ± 4,392 square foot, 4-unit, multi-family structure located at **129 South K Street**; PCN# 38-43-44-21-15-049-0310. The subject property is located in the Medium Density Multi-Family Residential (MF-30) zoning district and is located within the Southeast Lucerne Local Historic District.

Hearing Procedures are reviewed with respect to quasi-judicial rules for this project.

Staff: A. Fogel presents case findings and analysis. The non-contributing structures on the parcel were declared unsafe by the City Building Official in October 2020. A COA is not required for demolition when the structure is the subject of a condemnation. The project is consistent with City Land Development Regulations. The proposed project is designed in a Mediterranean Revival architectural style with visually compatible details. The parcel is a corner lot with two facades that should meet visual compatibility standards.

Agents for the Applicant: Michael Sanchez and Scott Disher, Architect, believes it will enhance the area. Spoke with the property owner to the north, Affected Party Ms. Debra Robert, regarding

three items of concern. Grass was high and that has been resolved, the Mango tree on Ms. Roberts property will be trimmed to everyone's satisfaction in conjunction with staff horticulturist. The third item is the location of the A/C units. The request by Ms. Robert to re-locate the A/C units to the rooftop would present several problems, the units would be seen despite the parapet, if the parapet were to be made higher, the overall height would be an issue and access to those units would be via an exterior stair. Applicant requests the A/C units be maintained on the ground. The affected party also requested the north façade be dressed up. In response, sills were added on all windows and muntins to the glazed areas.

Affected Party Ms. Debra Robert: 127 S K Street- Is generally pleased with the parcel and the design is nice. The concern is the noise generated by the four A/C units running day and night. Despite being a Mixed-Use zoning district there is still an expectation of quietness. Proposes there are three sides that should be visually compatible. The north wall when looking south will be very prominent. Alexander Schultz- 612 2nd Ave S.- Concurs with Ms. Robert about the noise being generated by the A/C units just outside a bedroom window, points to Hammon Park with the units located in front of the units.

Board: S. Pickett is within the 400-foot radius. Believes he can be unbiased and does not have a material interest in the project.

Affected Party: Has there been consideration given to relocating the A/C to the front?

Agent for the Applicant: Esthetically doesn't like them in the front, cannot put them on the roof, would have to move building back if they were to be located in the front.

Affected Party A. Shultz inquires how it was allowed at Hammon Park.

Staff: Code does not allow for the units to be placed in the front. Hammon Park was a Planned Unit Development with a common driveway in the rear of the property.

Applicant: The building could be moved four (4) feet north if the units were placed on the roof however that would cause a ladder to be mounted to the building.

Board: W. Feldkamp- As there is a six (6) foot fence on the affected party property, could the units be moved ten (10) feet eastward? J. Fox lived in a townhouse for 20 years with a unit nearby and it never bothered. The newer units are much quieter. Discussion about the distance between the air handler and condenser and drop in efficiency. **Staff:** With new construction, it is easier to place the units outside the setback, with existing structures the placement is limited to where it fits and sometimes that is within the setback.

Board: W. Feldkamp suggests moving them eastward between the demising wall. **Architect** suggests moving the two units further east at the demising wall so as not to be located beneath a window. The sills will be thicker on the north elevation, muntins were added. The landscaping is generous. There is nine (9) feet between the structure and the affected party property.

Affected Party asks if there is something else that could be added to the north façade to create more interest.

Board: W. Feldkamp the façade is treated well with the arched parapet. S. Pickett agrees several facades are visible and there are many small treatments that could be placed. Suggestions of the half circle inset near the parapet, adding brackets over the 4 windows on the north façade; more jointing in the stucco, faux shutters; 3 downspouts and overflow scuppers through the parapet wall; color changes, demarcation lines to break up the length. G. Harris prefers simple responses will make a huge difference without too much cluttering.

Public Comment: None

Motion: R. D'Arinzo moves to approve **HRPB 21-00100087** with staff recommended Conditions of Approval adding Condition #15 moving A/C units eastward to the center of the demising wall and condition #16 to add a matching medallion near the parapet of the north façade; add vertical demarcation lines to stucco near the center of the building allowing for a different paint color, to be approved by staff. B. Guthrie 2nd.

Vote: Ayes all, unanimous.

Recess -8:07 PM- 8:15 PM

B. HRPB Project Number 21-00100190: A Certificate of Appropriateness (COA) for the construction of a new ± 944 square foot accessory dwelling unit located at **131 South Palmway**; PCN #38-43-44-21-15-039-0160. The subject property is located in the Medium Density Multi-Family Residential (MF-30) zoning district and is located within the South Palm Park Local Historic District.

Staff: A. Fogel presents case findings and analysis. A historically insensitive renovation occurred in 1992. Including window replacement and stuccoing over the lap siding. The structures were designated as non-contributing; in July 2021 the garage was declared unsafe and condemned by the City Building Official. The new structure is designed to replicate a two-story detached Wood Frame Vernacular garage structure. The proposal is consistent with the Comprehensive Plan, Land Development Regulations and Historic Design Guidelines.

Applicant: Thomas Forlenza.

Board: B. Guthrie questions the metal roof with color on the primary structure. The proposal indicates a mill finish.

Applicant: Has a proposal with a roofing company to replace the primary structure with a mill finish.

Board: G. Harris suggests a drip edge or skirting for the transition from the lap siding to the stucco.

Staff: Add: Prior to the issuance of a building permit for construction, a demolition permit must be approved.

Public Comment: None

Motion: R. D'Arinzo moves to approve HRPB 21-00100190 with staff recommended Conditions of Approval (18) and the addition of Condition #19 – A skirt board with drip-edge shall be added; Condition #20- A demolition permit shall be approved prior to the issuance of a permit for construction; based upon competent substantial evidence in the staff report and pursuant to the City of Lake Worth Beach Land Development Regulations and Historic Preservation Guidelines; B. Guthrie 2nd.

Vote: Ayes all, unanimous.

Request granted for Postponement to August 11, 2021

C. HRPB Project Number 19-00100107: Consideration of a Completed Work Application (Part III) for a Historic Preservation Ad Valorem Tax Exemption and a recommendation to the City Commission for a Historic Preservation Ad Valorem Tax Exemption for the subject

property located at **1020 South Lakeside Drive**; PCN#38-43-44-27-01-042-0010. The subject property is a contributing resource to the South Palm Park Local Historic District and is located within the Single-Family Residential (SF-R) zoning district.

D. HRPB Project Number(s) 21-00100119 and 21-01500004: A Certificate of Appropriateness (COA) for the additions, exterior alterations, and site improvements, and a variance from base flood elevation requirements of the Florida Building Code for the property located at **732 North Palmway**; PCN #38-43-44-21-15-228-0080. The subject property is located within the Single-Family Residential (SF-R) zoning district and is a contributing resource to the Northeast Lucerne Local Historic District.

Staff: J. Hodges presents case findings and analysis. Staff has concerns with the wall height and roofline of the detached garage substantially altering the structure enough to impact its status as a contributing resource. Qualifying as a substantial improvement, both structures are required to meet the nine (9) foot NAVD base flood elevation. The applicant has applied for a variance from the requirement as both are eligible under the Florida Building Code as they are of contributing status. It is the analysis of staff that the proposed additions to the primary structure will not jeopardize the contributing designation, and the granting of the variance (not requiring the floor height to be increased) will meet the variance criteria. Due to the substantial alterations to wall height, massing and visual qualities of the proposed, detached garage the contributing designation of that structure will be jeopardized. Board shall decide as to whether the increasing wall height is visually compatible. If Board approves of the height, a variance would likely not be needed as there will be sufficient headroom in the structure after raising the floor height. The applicant is proposing raising the beam height 4 (four) feet contributing to the increased wall height.

Staff has concluded that 1. The strict interpretation of the FBC could result in a height that is incompatible with surrounding properties. 2. If the Board determines the height is compatible with surrounding properties a variance would not be required as the floor height could be raised allowing for adherence to FBC.

In order to qualify for the variance the structure must remain contributing. The applicant is seeking to avail himself of the relief from increasing the floor height by applying for the variance which necessitates the structure remaining contributing, yet the proposed wall height could render the project non-contributing and thus ineligible for the granting of the variance. Despite the wall height, the applicant is not intending to meet the FBC regarding the base flood elevation. Solutions could be to lower the roof height and retain the hip roof; this would allow the variance to be granted. Questions about necessity of a window in the storage space versus vents.

Architect for Applicant: Jeremy Walter explains the reason for the added height in the garage is to add storage above the bathroom area. The streetscape does not elevate much above the neighboring homes. Points to other 2-story structures in the neighborhood.

Public Comment: 802 N Lakeside- Kathryn Costantino and Janice Watson- concerned with investment properties, in particular, being considered for a variance and the Historic Guidelines not being followed. Although the application is for a pool cabana (additional living space) it would seem it to be a rental with kitchen and bath and living room.

Applicant states it is currently rented and will be owner occupied.

Board: Suggestion to lower the garage roof and change the pitch to 4:12 not 6:12; the proposed ribbon driveway in the front will be reasonable. Other suggestions are the gable roof should be eliminated and retain a hip roof to soften the appearance and not exaggerate the height.

Applicant states he prefers a gable end.

The Conditions of Approval are briefly reviewed.

Motion: B. Guthrie moves to approve the Variance **21-01500004** and the Certificate of Appropriateness **21-00100119** for the primary structure with staff recommended Conditions of Approval (excluding Conditions 9, 10,11 and 13 pertaining to the garage) including site improvements based upon competent substantial evidence in the staff report and pursuant to the City of Lake Worth Beach Land Development Regulations and Historic Preservation requirements; S. Pickett 2nd.

Vote: Ayes all, unanimous.

Motion: B. Guthrie moves to continue the hearing for the Accessory Structure to the August 11, 2021 Historic Resources Preservation Board meeting; R. D'Arinzo 2nd.

Vote: Ayes all, unanimous.

PLANNING ISSUES:

A. A conceptual plan review for the construction of a new accessory structure and historic waiver for the square footage limitation at **226 South L Street**; PCN #38-43-44-21-15-091-0040. The subject property is located in the Low-Density Multi-Family Residential (MF-20) zoning district and is located within the Southeast Lucerne Local Historic District.

Applicant: Anne Fairfax explains a preliminary proposal for a secondary structure to be located behind the primary structure. Included would be a garage on the lower level and bedroom, closet and bath on the second floor. Of concern is the square footage limitation on the secondary structure. Explains the topography of the lot and the slope would diminish the impact of height. Prefers to have it separated from the cottage and preserving the integrity while also allowing the area between to function as a garden. It would be greater than a driveway at the rear with additional impervious area and loss of landscape.

PUBLIC COMMENTS: (3 minute limit) None

DEPARTMENT REPORTS: None

BOARD MEMBER COMMENTS: As most Board members will not be available to meet on either the 2nd or 3rd Wednesday of August. There will be no meeting until September.

ADJOURNMENT: 9:50 PM

Legal Notice No. 39094

PLEASE TAKE NOTICE that the City of Lake Worth Beach's Historic Resources Preservation Board (HRPB) will conduct the meeting virtually with an in-person quorum per the Centers for Disease Control and Prevention Coronavirus Disease 2019 (Covid-19) Guidance at 7 North Dixie Highway, Lake Worth Beach on **September 8, 2021 at 6:00 pm** or soon thereafter to consider the following:

HRPB Project #21-00100250: Consideration of a Certificate of Appropriateness (COA) for the construction of four (4) new ± 1,489 square foot single-family structures on Lots 27, 28, 29, and 30 of Block 90 at 307 North L Street. The subject property is located in the Low-Density Multi-Family Residential (MF-20) zoning district and the Northeast Lucerne Local Historic District. PCN#38-43-44-21-15-090-0270.

The public can view the meeting via YouTube, https://www.youtube.com/c/CityofLakeWorthBeach. The agenda and back-up materials are available: https://lakeworthbeachfl.gov/government/advisory-board-agendas-and-minutes/

Public comment will be accommodated through the web portal on the day of the meeting: https://lakeworthbeachfl.gov/virtual-meetings/. If you are unable to access the web portal, please leave a message at 561-586-1687 or email pzoning@lakeworthbeachfl.gov. Written responses or comments can be sent to the Department for Community Sustainability PZHP Division, 1900 2nd Avenue North, Lake Worth Beach, FL 33461 and must arrive before the hearing date to be included in the formal record.

Affected parties, as defined in Section 23.1-12 of the Lake Worth Beach Code of Ordinances, who are interested in participation must notify the City of their status at least five (5) days before the hearing. Failure to follow the process will be considered a waiver of the right to participate as affected party in the hearing, but does not preclude the party from making public comment. Affected parties shall submit the evidence they wish the Historic Resources Preservation Board to consider a minimum of one (1) full business day prior to the date of the meeting. Affected parties, whether individually or collectively and irrespective of the number of affected parties, shall have the right to request one (1) continuance provided that the request is to: address neighborhood concerns or new evidence, hire legal counsel or a professional services consultant, or is unable to be represented at the hearing. For additional information, please contact City staff at 561-586-1687 or pzoning@lakeworthbeachfl.gov.

If a person decides to appeal any decision made by the Board, Agency, or Commission with respect to any matter considered at such meeting or hearing, he or she will need a record of the proceedings, and that, for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based (FS 286.0105). **In accordance with the provisions of the American with Disabilities Act (ADA) this document may be requested in an alternative format. Persons in need of special accommodation to participate in this proceeding are entitled to the provision of certain assistance. Please call 561-586-1687 or email pzoning@lakeworthbeachfl.gov no later than five (5) days before the hearing if this assistance is required.**

Publish: The Lake Worth Herald
August 26, 2021

Legal Notice 39093

PLEASE TAKE NOTICE that the City of Lake Worth Beach's Historic Resources Preservation Board (HRPB) will conduct the meeting virtually with an in-person quorum per the Centers for Disease Control and Prevention Coronavirus Disease 2019 (Covid-19) Guidance at 7 North Dixie Highway, Lake Worth Beach on **September 8, 2021 at 6:00 pm** or soon thereafter to consider the following:

HRPB Project #21-00100182: Consideration of a Certificate of Appropriateness (COA) for the construction of a new ± 1,462 square foot single-family structure at **617 North K Street**. The subject property is located in the Single-Family and Two-Family Residential (SF-TF 14) zoning district and the Northeast Lucerne Local Historic District. PCN#38-43-44-21-15-178-0240.

The public can view the meeting via YouTube, https://www.youtube.com/c/CityofLakeWorthBeach. The agenda and back-up materials are available: https://lakeworthbeachfl.gov/government/advisory-board-agendas-and-minutes/

Public comment will be accommodated through the web portal on the day of the meeting: https://lakeworthbeachfl.gov/virtual-meetings/. If you are unable to access the web portal, please leave a message at 561-586-1687 or email pzoning@lakeworthbeachfl.gov. Written responses or comments can be sent to the Department for Community Sustainability PZHP Division, 1900 2nd Avenue North, Lake Worth Beach, FL 33461 and must arrive before the hearing date to be included in the formal record.

Affected parties, as defined in Section 23.1-12 of the Lake Worth Beach Code of Ordinances, who are interested in participation must notify the City of their status at least five (5) days before the hearing. Failure to follow the process will be considered a waiver of the right to participate as affected party in the hearing, but does not preclude the party from making public comment. Affected parties shall submit the evidence they wish the Historic Resources Preservation Board to consider a minimum of one (1) full business day prior to the date of the meeting. Affected parties, whether individually or collectively and irrespective of the number of affected parties, shall have the right to request one (1) continuance provided that the request is to: address neighborhood concerns or new evidence, hire legal counsel or a professional services consultant, or is unable to be represented at the hearing. For additional information, please contact City staff at 561-586-1687 or pzoning@lakeworthbeachfl.gov.

If a person decides to appeal any decision made by the Board, Agency, or Commission with respect to any matter considered at such meeting or hearing, he or she will need a record of the proceedings, and that, for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based (FS 286.0105). **In accordance with the provisions of the American with Disabilities Act (ADA) this document may be requested in an alternative format. Persons in need of special accommodation to participate in this proceeding are entitled to the provision of certain assistance. Please call 561-586-1687 or email pzoning@lakeworthbeachfl.gov no later than five (5) days before the hearing if this assistance is required.**

Publish: The Lake Worth Herald
August 26, 2021

DEPARTMENT FOR COMMUNITY SUSTAINABILITY
Planning Zoning Historic Preservation Division
1900 2ND Avenue North
Lake Worth Beach, FL 33461
561-586-1687

MEMORANDUM DATE: September 1, 2021

AGENDA DATE: September 8, 2021

TO: Chair and Members of the Historic Resources Preservation Board

RE: **732 North Palmway | Continuance**

FROM: Jordan Hodges, Senior Preservation Coordinator
Abraham Fogel, Preservation Planner
Department for Community Sustainability

TITLE: HRPB Project Number(s) 21-00100119 and 21-01500004: A Certificate of Appropriateness (COA) for exterior alterations and a variance from base flood elevation requirements of the Florida Building Code for the detached garage located at 732 North Palmway; PCN #38-43-44-21-15-228-0080. The subject property is located within the Single-Family Residential (SF-R) zoning district and is a contributing resource to the Northeast Lucerne Local Historic District.

OWNER: James Murphy
719 Claremore Drive
West Palm Beach, FL 33401

ARCHITECT: Jeremy K. Walter Architects
601 Heritage Drive, Ste. 105
Jupiter, FL 33458

PROJECT BACKGROUND:
The single-family structure and a single-vehicle detached garage at 732 North Palmway were designed by Sea-Crest Homes for Mr. Walter Eisenberg in 1949 in a Masonry Minimal Traditional architectural style. The original architectural plans are included as **Attachment A**. The property maintains a high degree of the seven aspects of historic integrity: location, setting, design, workmanship, materials, feeling, and association. Current photos of the property are included as **Attachment B**.

At the July 14, 2021 regular meeting, the HRPB reviewed and approved a COA for additions, exterior alterations, site improvements, and a variance from base flood elevation requirements of the Florida Building Code for the single-family residence on the property. Although a COA for exterior alterations and a base flood elevation variance were also requested for the detached garage, the HRPB separated and continued the scope of work proposed for the garage as the request sought to substantially alter the massing, height, and roof design of the building. The HRPB provided the project architect with recommendations and requested a redesign, specifically in regards to lowering the roof height below that of the single-family residence. The project architect submitted revised plans on July 19, 2021, included as **Attachment C**. The proposed plans provide two options for the building's roof design; the property

owner's preferred choice of a gable roof, and an alternate consideration as a hip roof. The continuance was scheduled to be heard at the August 11, 2021 meeting, but the meeting was postponed until September 8, 2021.

PROJECT DESCRIPTION:

The property owner, James Murphy, is requesting approval for exterior alterations and a variance from base flood elevation requirements of the Florida Building Code due to a substantial improvement. The subject property is a 50'x135' (6,750 square foot) platted lot of record located on the southeast corner of North Palmway and 8th Avenue North, in Lake Worth Beach. The subject property is located within the Single-Family Residential (SF-R) zoning district and retains a Future Land Use (FLU) designation of Single Family Residential (SFR).

The application will require the following approvals:

1. **Certificate of Appropriateness (COA)** for exterior alterations
2. **Variance from Base Flood Elevation (VAR)** from the Florida Building Code

STAFF RECOMMENDATION:

Staff recommends approval with conditions, listed on pages 11 and 12.

PROPERTY DESCRIPTION:

Owner	James Murphy
General Location	Southeast corner of North Palmway and 8th Avenue North
PCN	38-43-44-21-15-228-0080
Zoning	Single-Family Residential (SF-R)
Existing Land Use	Single Family Residence
Future Land Use Designation	Single Family Residential (SFR)

SITE ANALYSIS:

Surrounding Properties

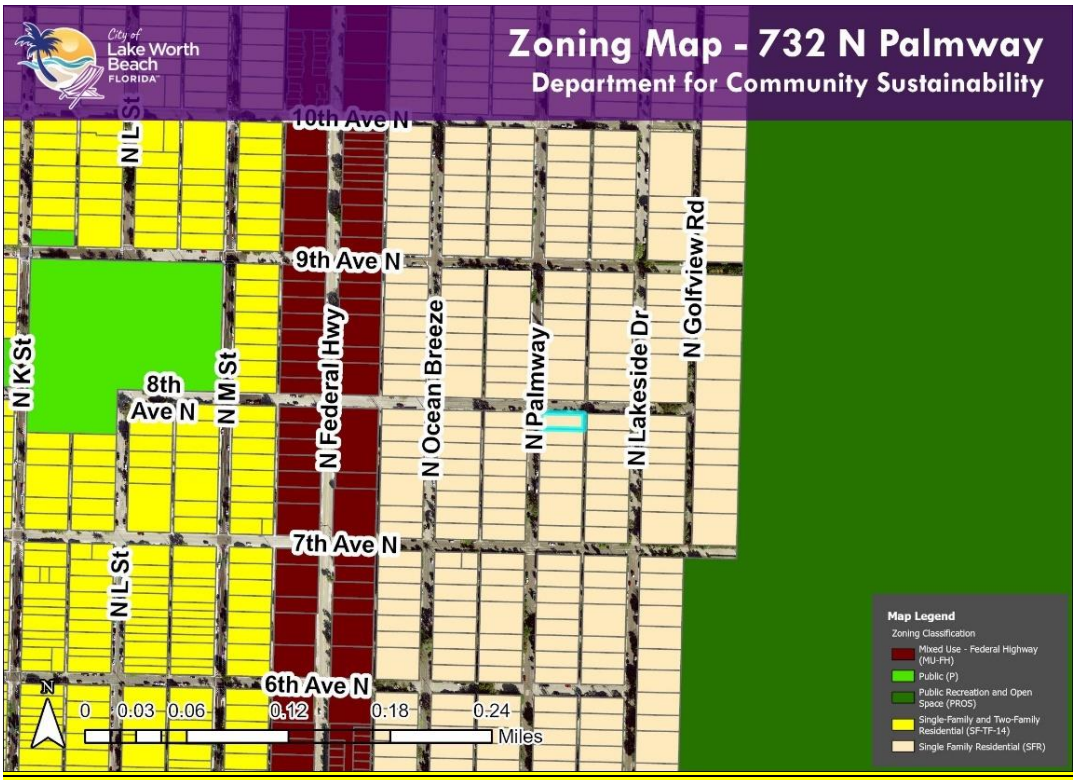
The site is surrounded by single-family structures with similar Zoning and FLU designations, and thus, are found to be compatible with the existing and proposed residential use on the subject site. The following summarizes the nature of the surrounding properties adjacent to the subject site:

NORTH: North of the subject site across 8th Avenue North is a single-family. This parcel contains a FLU designation of SFR and a Zoning designation of SF-R.

SOUTH: Immediately south of the subject site is a single-family residence. This parcel contains a FLU designation of SFR and a Zoning designation of SF-R.

EAST: East of the subject site across the rear alley is a single-family residence. This parcel contains a FLU designation of SFR and a Zoning designation of SF-R.

WEST: West of the subject site across North Palmway is a single-family residence. This parcel contains a FLU designation of SFR and a Zoning designation of SF-R.



Consistency with the Comprehensive Plan

The subject property is located in the Single-Family Residential Land Use (FLU) designation. Per Policy 1.1.1.2 in the City's Comprehensive Plan, the FLU designation allows for a maximum density of 7 dwelling units per acre. The purpose of the Single-Family Residential designation is to permit the development of single-family structures designed for occupancy by one family or household. As the project proposes improvements to the single-family residence, it is consistent with the intent of the Single-Family Residential designation. Staff has included conditions of approval to ensure the accessory structure is not utilized as an additional dwelling unit which is not consistent with the parcel's FLU designation.

The project also encourages architectural design that complements the City's appearance, consistent with Objective 3.2.4.

LAND DEVELOPMENT CODE REQUIREMENTS:

Land Development Code Requirements		
Code References	**23.3-7 SF-R; Florida Building Code**	
	Required	**Existing/Proposed**
Lot Area	5,000 square feet	6,750 square feet
Lot Width	50'-0"	50'-0"
Building Height	24'-0" 2 stories (Accessory Structure)	12'-2" (midpoint of roof)
Base Flood Elevation	**9'-0" NAVD** (Zone AE) (BFE 8'-0" + 12" Freeboard)	Garage Existing: **4.0' NAVD** Garage Proposed: **4.33' NAVD**

The applicant is requesting approval to convert the existing garage into additional under-air living space. The site plan associated with the overall project is consistent with all site data requirements in the City's zoning code and was approved at the July 14, 2021 regular meeting. The approved site plan and revised architectural drawings of the detached garage are included in this report as **Attachment C.**

Per FEMA regulations and local ordinance, a *substantial improvement* may occur when planned improvements exceed 50% of the appraised value of the pre-improved structure. When the substantial improvement threshold is crossed, the entire building must be brought into compliance with the building code, including base flood elevation requirements. The Palm Beach County Property Appraiser's 2020 assessed improvement value for the existing structures on the parcel is $124,106, which provides $62,053 of improvement value before the project will be considered a substantial improvement. The project architect submitted an overall project valuation estimate, which estimates the improvement value of the project at $135,990.

As the proposal is deemed a substantial improvement, the entire structure must be raised to meet the current 9-foot NAVD base flood elevation requirement established within the Florida Building Code. The

current floor elevation of the detached garage is listed at 4' NAVD, per an elevation certificate provided by the applicant, included as **Attachment D**.

As the structure is a contributing resource within the Northeast Lucerne Local Historic District, the property owner has applied for a variance from the base flood elevation requirements of the Florida Building Code per Sec. 23.7-7 of the Lake Worth Beach Land Development Regulations. The variance request is analyzed in the section below.

Variance from Base Flood Elevation of the Florida Building Code
The applicant is requesting a variance from Florida Building Code 1201.3, Flood Hazard Areas:

In flood hazard areas, if all proposed work, including repairs, work required because of a change of occupancy, and alterations, constitutes substantial improvement, then the building shall comply with Section 1612 of the Florida Building Code, Building, or Section R322 of the Florida Building Code, Residential, as applicable.

> *Exception: If the program that designated the building as historic determines that it will continue to be an historic building after the proposed work is completed, then the proposed work is not considered to be substantial improvement. For the purposes of this exception, an historic building is:*
>
> 1. *Individually listed in the National Register of Historic Places; or*
> 2. *A contributing resource within a National Register of Historic Places listed district; or*
> 3. ***Designated as historic property under an official municipal, county, special district or state designation, law, ordinance or resolution either individually or as a contributing property in a district, provided the local program making the designation is approved by the Department of the Interior (the Florida state historic preservation officer maintains a list of approved local programs)**; or*
> 4. *Determined eligible by the Florida State Historic Preservation Officer for listing in the National Register of Historic Places, either individually or as a contributing property in a district.*

Staff Analysis: The current slab height of the detached garage is 4' NAVD. The plan involves raising the floor height in the garage by 4", bringing the proposed floor height to 4.33' NAVD. The Federal Emergency Management Agency (FEMA) Pending Flood Map indicates the property is located in Zone AE, which requires an 8'-0" elevation for finished floors for habitable living spaces. The Florida Building Code also requires finished floors be constructed an additional 12" above the base flood elevation. **Therefore, the pending base flood elevation for the building is 9'-0" NAVD, which is 4.67' above the finished floor of the garage (after the 4" slab pour).**

Because the subject property is a contributing resource to the Northeast Lucerne Local Historic District, which was designated by municipal ordinance, the proposed garage conversion is eligible for an exception from the Florida Building Code to allow substantial improvements and/or alterations that do not meet the

current flood-resistant construction requirements. Although this proposal meets the criteria for an exemption within the Florida Building Code, the City of Lake Worth Beach Land Development Regulations require that applicants seeking to utilize this exemption apply for a formal variance from the Historic Resources Preservation Board.

Pursuant to City of Lake Worth Beach LDR Section 23.7-7, Variances and Appeals:

d) *Historic buildings. A variance is authorized to be issued for the repair, improvement, or rehabilitation of a historic building that is determined eligible for the exception to the flood resistant construction requirements of the Florida Building Code, Existing Building, Chapter 11 Historic Buildings, upon a determination that the proposed repair, improvement, or rehabilitation will not preclude the building's continued designation as a historic building and the variance is the minimum necessary to preserve the historic character and design of the building. If the proposed work precludes the building's continued designation as a historic building, a variance shall not be granted and the building and any repair, improvement, and rehabilitation shall be subject to the requirements of the Florida Building Code.*

Staff Analysis: As a contributing resource to the Northeast Lucerne Local Historic District, the detached garage is eligible for the exception to the flood resistant construction requirements of the Florida Building Code. It is staff's analysis that the proposed exterior alterations, as revised, will likely not preclude the continuation of the structure's contributing designation as the new design mitigates the changes in height and massing in an adequate manner. For a more in-depth visual compatibility analysis, refer to the Historic Preservation Analysis, pgs. 7-10, and the Design Guidelines Analysis, pgs. 10-11.

Pursuant to City of Lake Worth Beach LDR Section 23.7-7(g)(2), variances to flood-resistant construction requirements have specific variance criteria. Provided below are the variance criteria and Staff's responses.

Variance criteria per LDR Section 23.7-7(g)(2):

A. Failure to grant the variance would result in exceptional hardship due to the physical characteristics of the land that render the lot undevelopable; increased costs to satisfy the requirements or inconvenience do not constitute hardship;

Staff Analysis: Staff contends that complying with the strict interpretation of the Florida Building Code could result in a disruption to the structure's historic appearance. Raising the finish floor elevation of the converted garage an additional 4.67 'could disrupt the foundation and wall proportions and general height of the buildings when compared to neighboring Minimal Traditional resources.

B. The granting of a variance will not result in increased flood heights, additional threats to public safety, extraordinary public expense, nor create nuisances, cause fraud on or victimization of the public or conflict with existing local laws and ordinances; and

Staff Analysis: Allowing the garage structure to remain below the required base flood elevation is unlikely to increase flood heights, cause additional threats to public safety, public expense, or create a

nuisance. The proposal is compliant with the impermeable surface requirements in the LDRs and there are pervious buffers around the property lines.

C. The variance is the minimum necessary, considering the flood hazard, to afford relief;

Staff Analysis: The variance is likely the minimum necessary to allow for a substantial improvement without having to raise the garage to meet current base flood elevation requirements or to significantly raise the beam height of the structure to accommodate higher ceilings due to an increase in floor height.

HISTORIC PRESERVATION ANALYSIS:

Certificate of Appropriateness

All additions and exterior alterations to structures within a designated historic district are subject to visual compatibility criteria. Staff has reviewed the documentation and materials provided in this application and outlined the applicable guidelines and standards found in the City's Historic Preservation Ordinance, detailed in the section below.

Section 23.5-4(K)(1) *General guidelines for granting certificates of appropriateness*

1. *In general.* In approving or denying applications for certificates of appropriateness, the city shall, at a minimum, consider the following general guidelines:

   A. What is the effect of the proposed work on the landmark or the property upon which such work is to be done?

   Staff Analysis: The proposed work consists of installing new aluminum impact casement windows, glazed doors, a triplet of panel doors to create a faux garage door opening, and altering the building's ceiling height and roof design. The existing beam height of the garage is 8'-0", and the applicants are proposing to raise the beam height to 10'-0". Additionally, the existing hip roof will be removed and replaced with a gable roof with dimensional asphalt shingles. A hip roof design is also illustrated for the Board's consideration.

   B. What is the relationship between such work and other structures on the landmark site or other property in the historic district?

   Staff Analysis: The proposed alterations to the garage are generally compatible with the Masonry Minimal Traditional architectural style. The window and door replacement proposal accurately replicate the original products and the new roof design is largely compatible with the architectural style and overall arrangement of buildings on the parcel. The request also includes a variance to allow the structure to be maintained at the existing floor height, after the 4" slab pour. Raising the building could result in adverse visual impacts as the building's current elevation is similar to visually contributing resources.

C. To what extent will the historic, architectural, or archaeological significance, architectural style, design, arrangement, texture, materials and color of the landmark or the property be affected?

Staff Analysis: The architectural features on the building are largely being replicated with materials consistent with Design Guidelines requirements. The proposed wall height and roof design arrangements are a departure from the original design, but they are largely compatible with the Minimal Traditional architectural style.

D. Would denial of a certificate of appropriateness deprive the property owner of reasonable beneficial use of his property?

Staff Analysis: No, denial of the COA would not deprive the applicant of reasonable use of his property.

E. Are the applicant's plans technically feasible and capable of being carried out within a reasonable time?

Staff Analysis: The plans are feasible and could be carried out in a reasonable timeframe.

F. Are the plans (i) consistent with the city's design guidelines, once adopted, or (ii) in the event the design guidelines are not adopted or do not address the relevant issue, consistent as reasonably possible with the applicable portions of the United States Secretary of the Interior's Standards for Rehabilitation then in effect?

Staff Analysis: The planned exterior alterations for the garage are generally in compliance with the City of Lake Worth Beach Design Guidelines. The proposed massing and exterior finish materials are generally appropriate for the structure. Staff does have some remaining concerns regarding the change in roof type, but the applicants have lowered the roof's overall height since the July HRPB meeting and the existing primary structure on the parcel features similar rooflines and detailing consistent with the proposed alterations.

G. What are the effects of the requested change on those elements or features of the structure which served as the basis for its designation and will the requested changes cause the least possible adverse effect on those elements or features?

Staff Analysis: The garage was designated as a single-story vehicular structure with very little detailing or architectural embellishments. The project architect has maintained the appearance of a vehicular structure by replicating the appearance of a garage bay with three new panel doors to fill the garage door opening.

Section 23.5-4(K)(2) *Additional guidelines for alterations and additions.*

2. In approving or denying applications for certificates of appropriateness for alterations and additions, the city shall also consider the following additional guidelines: *Landmark and contributing structures:*

A. Is every reasonable effort being made to provide a compatible use for a property that requires minimal alteration of the building, structure or site and its environment, or to use the property for its originally intended purpose?

Staff Analysis: The use of the building will change from a garage to a pool cabana. The design of the building requires few exterior alterations to accommodate the new use, including filling in the vehicular garage bay with a triplet of doors and raising the beam height two feet to accommodate additional ceiling height.

B. Are the distinguishing original qualities or character of a building, structure or site and its environment being destroyed? The removal or alteration of any historic material or distinctive architectural features shall be avoided whenever possible.

Staff Analysis: The proposal does include removing existing doors, windows and a garage door, but the elements will be replaced with architecturally compatible alternatives.

C. Is the change visually compatible with the neighboring properties as viewed from a primary or secondary public street?

Staff Analysis: The alterations to the building will largely be visually compatible when viewed from 8th Avenue North. The project architect has lowered the beam height in the garage by 2'-0" in a redesign requested by the Board at the July meeting. The new design also incorporates a decorative circle vent in the gable end in lieu of a window that was presented in July. Overall, the changes in design increase the visual compatibility of the building.

D. When a certificate of appropriateness is requested to replace windows or doors the HRPB or development review officer, as appropriate, may permit the property owner's original design when the city's alternative design would result in an increase in cost of twenty-five (25) percent above the owner's original cost. The owner shall be required to demonstrate to the city that:

(1) The work to be performed will conform to the original door and window openings of the structure; and

Staff Analysis: The replacement windows largely conform to the original opening sizes.

(2) That the replacement windows or doors with less expensive materials will achieve a savings in excess of twenty-five (25) percent over historically compatible materials otherwise required by these LDRs. This factor may be demonstrated by submission of a written cost estimate by the proposed provider of materials which must be verified by city staff; and

Staff Analysis: Not applicable, the applicant did not request to replace the windows and doors with less expensive materials.

(3) That the replacement windows and doors match the old in design, color, texture and, where possible, materials where the property is significant for its architectural design or construction.

Staff Analysis: The replacement windows replicate the design of the original casement windows and could be approved administratively, per the Design Guidelines.

(4) If the applicant avails himself of this paragraph the materials used must appear to be as historically accurate as possible and in keeping with the architectural style of the structure.

Staff Analysis: Not applicable, the applicant is not requesting to be availed of this paragraph.

Historic Preservation Design Guidelines Analysis

Per the Historic Preservation Design Guidelines, the six historic districts in Lake Worth Beach feature 10 primary historic architectural styles. Chapter 5; Architectural Styles, illustrates and describes the elements that define each style. In addition to defining the physical characteristics of each primary style, a narrative is provided that chronicles the history and context of each style. The Masonry Minimal Traditional architectural style section is included as **Attachment E**.

Staff Analysis: The existing single bay garage is proposed to be converted into a new pool cabana featuring a full bathroom, living room area, and kitchenette. The garage door on the north façade is proposed to be removed and infilled with three doors utilizing recessed panels and 4-light windows. The doors will be mulled together in the existing opening, with two being fixed doors and one being operable. The remaining window and pedestrian door openings will be replaced with new impact casement windows and divided light glazed doors. The replacement of these features could be approved administratively, as the replacement products adequately replicate the original features in design, operability, and related visual qualities.

The proposal also includes raising the beam height from 8'-0" to 10'-0" and changing the roof design from a hip roof to a forward-facing gable roof. An alternate design illustrating a hip roof configuration is also provided for the Board's consideration. Both roof options maintain the same overall height. The proposed alterations, while significant, are not in conflict with the architectural style, massing, and design common amongst Minimal Traditional buildings from the 1940s and 1950s. The applicants have lowered the roof's midpoint height (from 14'-3" to 12'-2") since the July meeting and the existing primary structure on the parcel features similar rooflines and soffit detailing. The decorative casement window in the gable end that was presented at the July meeting was also removed and replaced with a decorative round vent to match the primary structure.

PUBLIC COMMENT:

At the time of publication of the agenda, staff has received no public comment.

CONCLUSION:

The proposed exterior alterations requested in the COA application are generally compatible with the Historic Preservation Ordinance criteria and the Historic Preservation Design Guidelines. The structure also meets the eligibility requirements for a variance from base flood elevation requirements and it is staff's analysis that the proposed improvements would not preclude the continuation of the building's contributing designation. Therefore, staff recommends approval of the COA and variance applications with the conditions provided below.

CONDITIONS OF APPROVAL:

Certificate of Appropriateness
COA#21-00100119

1. The exact window and door product selection shall be reviewed by staff at permitting. The triplet of doors for the garage bay shall utilize a recessed panel or vertical plank design.
2. The windows shall be installed recessed in the jambs to the same depth as they are on the existing historic structure and shall not be installed flush with the exterior face of the wall.
3. All divided light patterns shall be created utilizing exterior raised applied muntins. External flat muntins or "grills between the glass" shall not be permitted.
4. All glazing shall be clear, non-reflective, and without tint. Low-E (low emissivity) is allowed but the glass shall have a minimum 60% visible light transmittance (VLT) measured from the center of glazing. Glass tints or any other glass treatments shall not be combined with the Low-E coating to further diminish the VLT of the glass.
5. The single French doors on the west elevation shall utilize 5 horizontal lights and the casement windows shall utilize 8 and 3 lights, depending on size, as depicted in the original architectural drawings.
6. The roofing material shall be a dimensional asphalt shingle or flat white concrete tile, subject to staff review at permitting. Staff recommends white or light grey for asphalt shingles.
7. All stucco applications shall be consistent with the existing structure's stucco texture and application.
8. The accessory structure shall not be utilized as an accessory dwelling unit (ADU).
9. The accessory structure shall not have kitchen facilities as defined in the City's Land Development Regulations. Future alterations that would lead to the conversion of the structure to an accessory dwelling unit (ADU) shall be prohibited. The accessory structure shall function as an extension of and subordinate to the single-family use.
10. The accessory structure shall not be granted an additional utility meter from the Public Utilities Department and shall not be issued a rental license from the Lake Worth Beach Business License Division.

Variance from Florida Building Code (Base Flood Elevation)
HRPB#21-01500004

1. The variance from base flood elevation shall be project specific, and shall only apply to the scope of work approved under this application. Any future additions, alterations, or substantial improvements that may trigger additional FEMA floodplain management requirements, as determined by the City's Floodplain Administrator, shall be reviewed under a separate application.

2. The variance shall be recorded in the office of the Palm Beach County Clerk of the Court so that it appears in the chain of title for the affected parcel of land.

POTENTIAL MOTION:

I MOVE TO **APPROVE** HRPB Project Number(s) 21-00100119 and 21-01500004, with staff recommended conditions, for a Certificate of Appropriateness for exterior alterations and a variance from base flood elevation requirements of the Florida Building Code for the garage structure located at **732 North Palmway**, based upon the competent substantial evidence in the staff report and pursuant to the City of Lake Worth Beach Land Development Regulations and Historic Preservation requirements.

I MOVE TO **DENY** HRPB Project Number(s) 21-00100119 and 21-01500004, for a Certificate of Appropriateness for exterior alterations and a variance from base flood elevation requirements of the Florida Building Code for the property located at **732 North Palmway**, because the applicant has not established by competent substantial evidence that the application is in compliance with the City of Lake Worth Beach Land Development Regulation and Historic Preservation requirements.

ATTACHMENTS:

A. Property File Documentation
B. Current Photos
C. Proposed Architectural Plans
D. Elevation Certificate
E. LWBHPDG Minimal Traditional

DEPARTMENT FOR COMMUNITY SUSTAINABILITY
Planning Zoning Historic Preservation Division
1900 2ND Avenue North
Lake Worth Beach, FL 33461
561-586-1687

ATTACHMENT A – PROPERTY FILE DOCUMENTATION

MEMORANDUM DATE: September 1, 2021

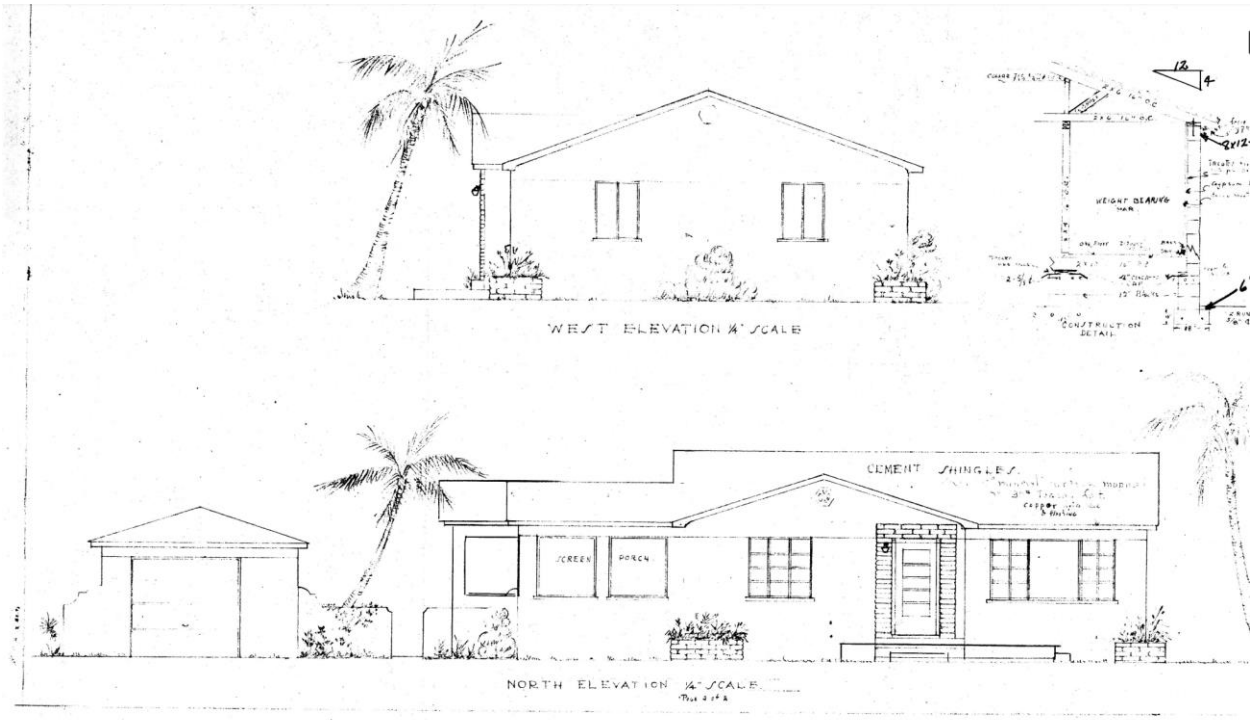
AGENDA DATE: September 8, 2021

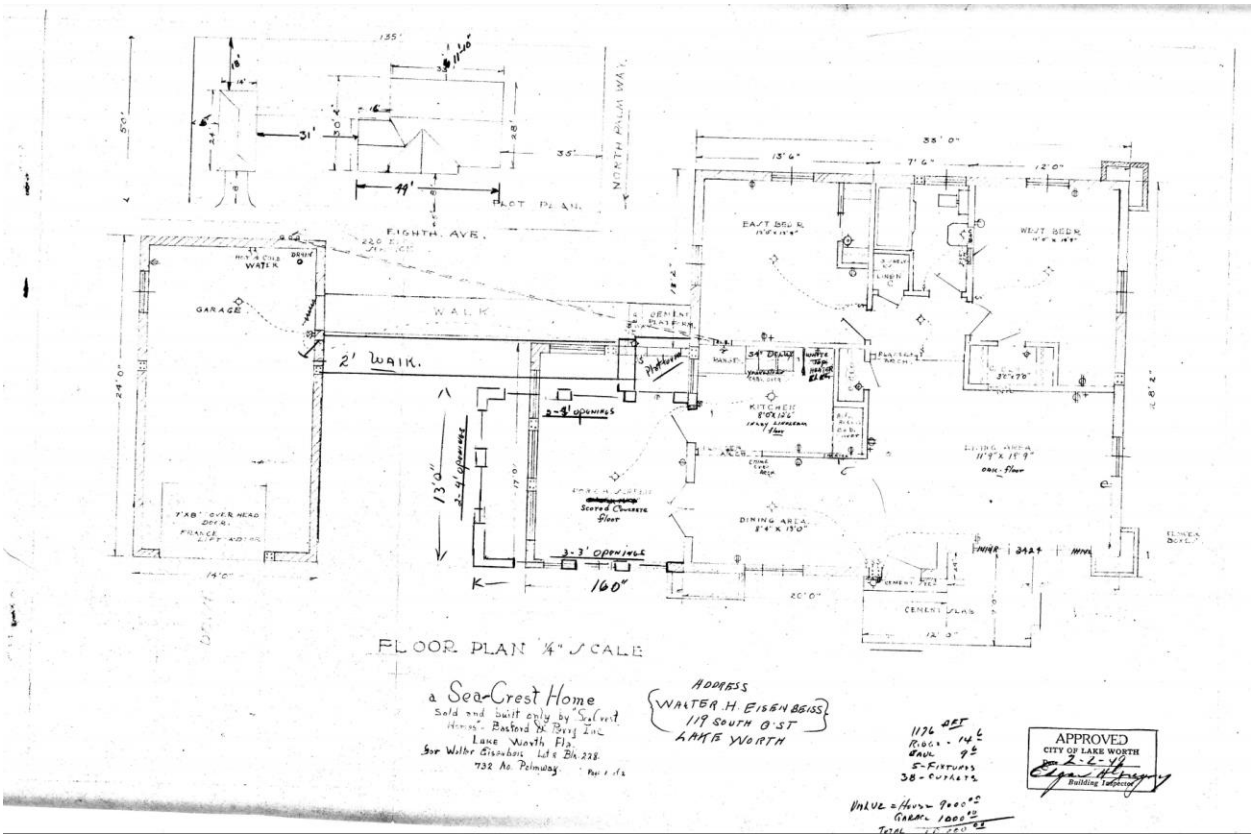
TO: Chair and Members of the Historic Resources Preservation Board

RE: **732 North Palmway**

FROM: Jordan Hodges, Senior Preservation Coordinator
Abraham Fogel, Preservation Planner
Department for Community Sustainability

TITLE: HRPB Project Number(s) 21-00100119 and 21-01500004: A Certificate of Appropriateness (COA) for exterior alterations and a variance from base flood elevation requirements of the Florida Building Code for the detached garage located at 732 North Palmway; PCN #38-43-44-21-15-228-0080. The subject property is located within the Single-Family Residential (SF-R) zoning district and is a contributing resource to the Northeast Lucerne Local Historic District.


WEST ELEVATION ¼" SCALE
CONSTRUCTION DETAIL
CEMENT SHINGLES
SCREEN PORCH
NORTH ELEVATION ¼" SCALE


PLOT PLAN
EIGHTH AVE.
NORTH PALM WALK
GARAGE
WALK
2' WALK.
EAST BED R.
WEST BED R.
KITCHEN
DINING AREA
FLOOR PLAN ¼" SCALE
a Sea-Crest Home
Sold and built only by "Sea-Crest Homes" Basford St. Bldg Inc.
Lake Worth Fla.
ADDRESS
WALTER H. EISENBEISS
119 SOUTH O ST
LAKE WORTH
APPROVED
CITY OF LAKE WORTH

DEPARTMENT FOR COMMUNITY SUSTAINABILITY
Planning Zoning Historic Preservation Division
1900 2ND Avenue North
Lake Worth Beach, FL 33461
561-586-1687

ATTACHMENT B – CURRENT PHOTOS

MEMORANDUM DATE: September 1, 2021

AGENDA DATE: **September 8, 2021**

TO: Chair and Members of the Historic Resources Preservation Board

RE: **732 North Palmway**

FROM: Jordan Hodges, Senior Preservation Coordinator
Abraham Fogel, Preservation Planner
Department for Community Sustainability

TITLE: HRPB Project Number(s) 21-00100119 and 21-01500004: A Certificate of Appropriateness (COA) for exterior alterations and a variance from base flood elevation requirements of the Florida Building Code for the detached garage located at 732 North Palmway; PCN #38-43-44-21-15-228-0080. The subject property is located within the Single-Family Residential (SF-R) zoning district and is a contributing resource to the Northeast Lucerne Local Historic District.

DEPARTMENT FOR COMMUNITY SUSTAINABILITY
Planning Zoning Historic Preservation Division
1900 2ND Avenue North
Lake Worth Beach, FL 33461
561-586-1687

ATTACHMENT C – ARCHITECTURAL PLANS

MEMORANDUM DATE: September 1, 2021

AGENDA DATE: **September 8, 2021**

TO: Chair and Members of the Historic Resources Preservation Board

RE: **732 North Palmway**

FROM: Jordan Hodges, Senior Preservation Coordinator
Abraham Fogel, Preservation Planner
Department for Community Sustainability

TITLE: HRPB Project Number(s) 21-00100119 and 21-01500004: A Certificate of Appropriateness (COA) for exterior alterations and a variance from base flood elevation requirements of the Florida Building Code for the detached garage located at 732 North Palmway; PCN #38-43-44-21-15-228-0080. The subject property is located within the Single-Family Residential (SF-R) zoning district and is a contributing resource to the Northeast Lucerne Local Historic District.

SURVEY INFORMATION

ORDER NO: 99809
DATE: 8/19/2020
NEXGEN SURVEYING, LLC.
5601 CORPORATE WAY SUITE 103
WEST PALM BEACH, FL 33407
TEL: 561-508-6272
LICENSED BUSINESS: LB-8111
CLYDE O. McNEAL SURVEYOR & MAPPER #2883

LEGAL DESCRIPTION

LOT 8, BLOCK 228 BLOCK TWO HUNDRED TWENTY-EIGHT (228), IN THE TOWNSITE OF LUCRENE, ACCORDING TO THE PALM BEACH FARMS COMPANY, PLAT NO. 2, RECORDED IN PLAT BOOK 2, PAGES 29 TO 40, INCLUSIVE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT, IN AND FOR PALM BEACH COUNTY, FLORIDA. (THE TOWN SITE OF LUCERNE, IS NOW KNOWN AS THE TOWN OF LAKE WORTH)

BUILDING CODE INFORMATION

TYPE V-B CONSTRUCTION

GROUP R-3

FBC 2020 RESIDENTIAL

proposed impervious area

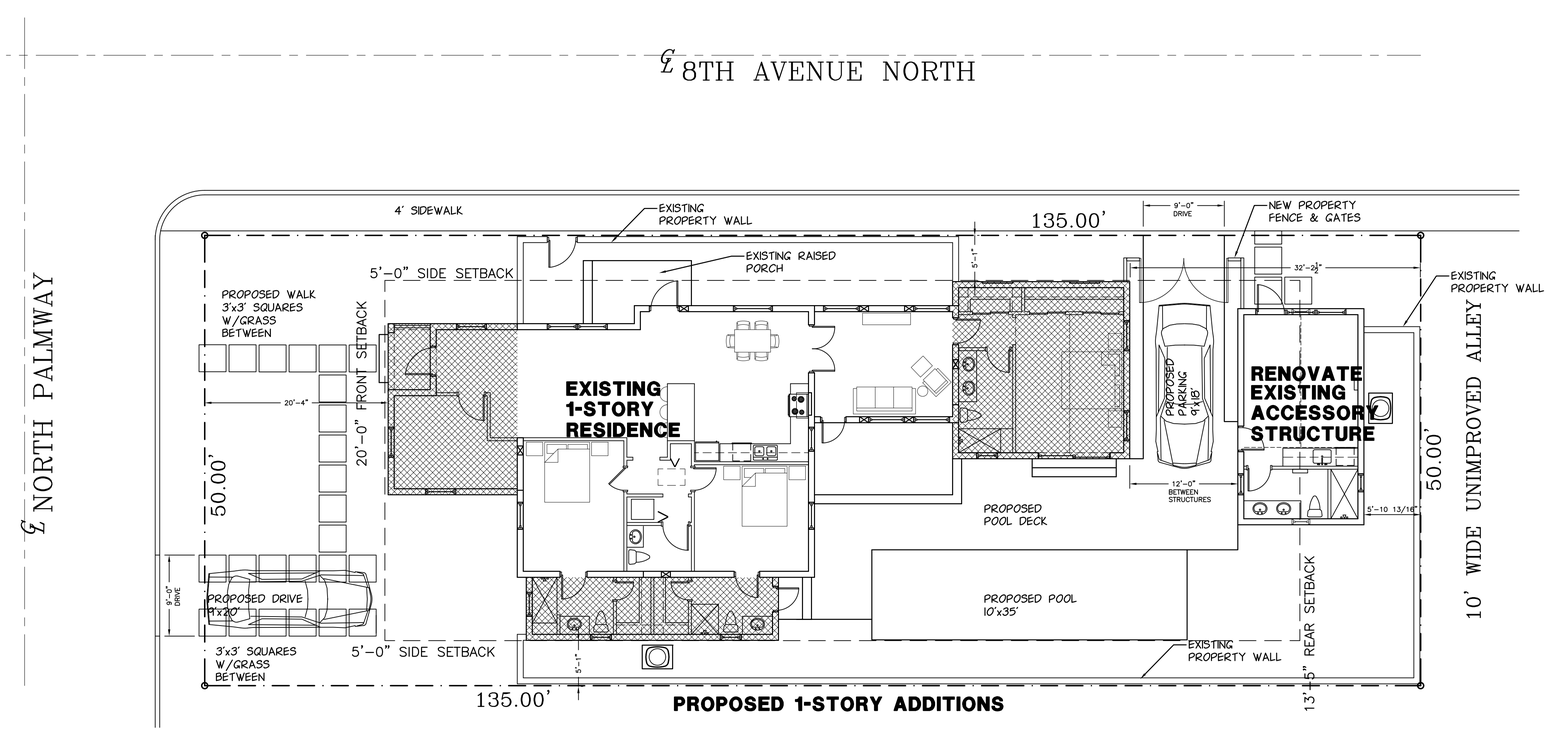
BUILDINGS FOOTPRINT
1st floor a/c = 1990 sf
Front porch = 34 sf
Pool house = 336 sf
Total building = 2360 sf

PAVING AREA
Front drive/walks = 216 sf
Side porch/walk = 112 sf
Rear patio/pool deck/drive = 834 sf
Pool house walk = 30 sf
Total paving = 1192 sf

Total impervious area = 3552 sf

ZONING TABULATION

ZONING ITEM	REQUIRED/ALLOWED	PROPOSED/EXISTING
ZONING DISTRICT	S.F.-R	S.F.-R
LOT AREA	5,000 SF MIN.	6,750 SF
LOT WIDTH	50' MIN.	50'
LOT DEPTH	100' MIN.	135'
FRONT YARD SETBACK	20'-0"	20'-4"
SIDE YARD SETBACK	10% of lot width 5'-0"	5'-1"
REAR YARD SETBACK PRIMARY	Lesser of: 15' or 10% of lot depth 13'-6"	32'-3"
REAR YARD SETBACK ACCESSORY	5'-0"	6'-3"
MAX. BUILDING HEIGHT PRIMARY	2-STORY = 30'-0"	1-STORY = 13'-2"
MAX. BUILDING HEIGHT ACCESSORY	2-STORY = 24'-0"	1-STORY = 14'-3"
MAX. WALL HEIGHT PRIMARY	18'-0" AT 5'-0" SETBACK	10'-2" AT 5'-1" SETBACK
MAX. WALL HEIGHT ACCESSORY	18'-0" AT 5'-0" SETBACK	12'-0" AT 5'-10" SETBACK
LOT COVERAGE	35% (2,362 s.f. max.)	35% (2,360 s.f.)
FLOOR AREA RATIO	.50 (3,3752 s.f. max.)	N/A 1-STORY
MAX. IMPERMEABLE SURFACE	55% (3,712 s.f. max.)	52.62% (3,552 s.f.)
OFF STREET PARKING	2-SPACES	2-SPACES



site plan

SCALE 1/8" = 1'-0"

FOR ARB REVIEW

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Seal

Jeremy K. Walter
AR-15125

JEREMY K. WALTER ARCHITECTS, LLC
601 Heritage Drive - Suite 105 - Jupiter, Florida 33458 - P. 561.379.2610
www.jkwalterarchitects.com

PROPOSED ADDITIONS & RENOVATIONS AT:
732 NORTH PALMWAY
LAKE WORTH BEACH
PALM BEACH COUNTY, FLORIDA

Revisions
HISTORIC REVIEW. 5/25/21
HISTORIC REVIEW. 6/24/21

Date: 4/5/21
Schematic Design
Drawn: JKW

Job No.
20-111

Sheet Title
SITE/ROOF PLAN

Drawing No.
A-1

existing square footages

A/C AREA
1st floor a/c = 970 sf
Total a/c = 970 sf

NON A/C AREA
Screen porch = 208 sf
Garage = 336 sf
Total non a/c = 544 sf

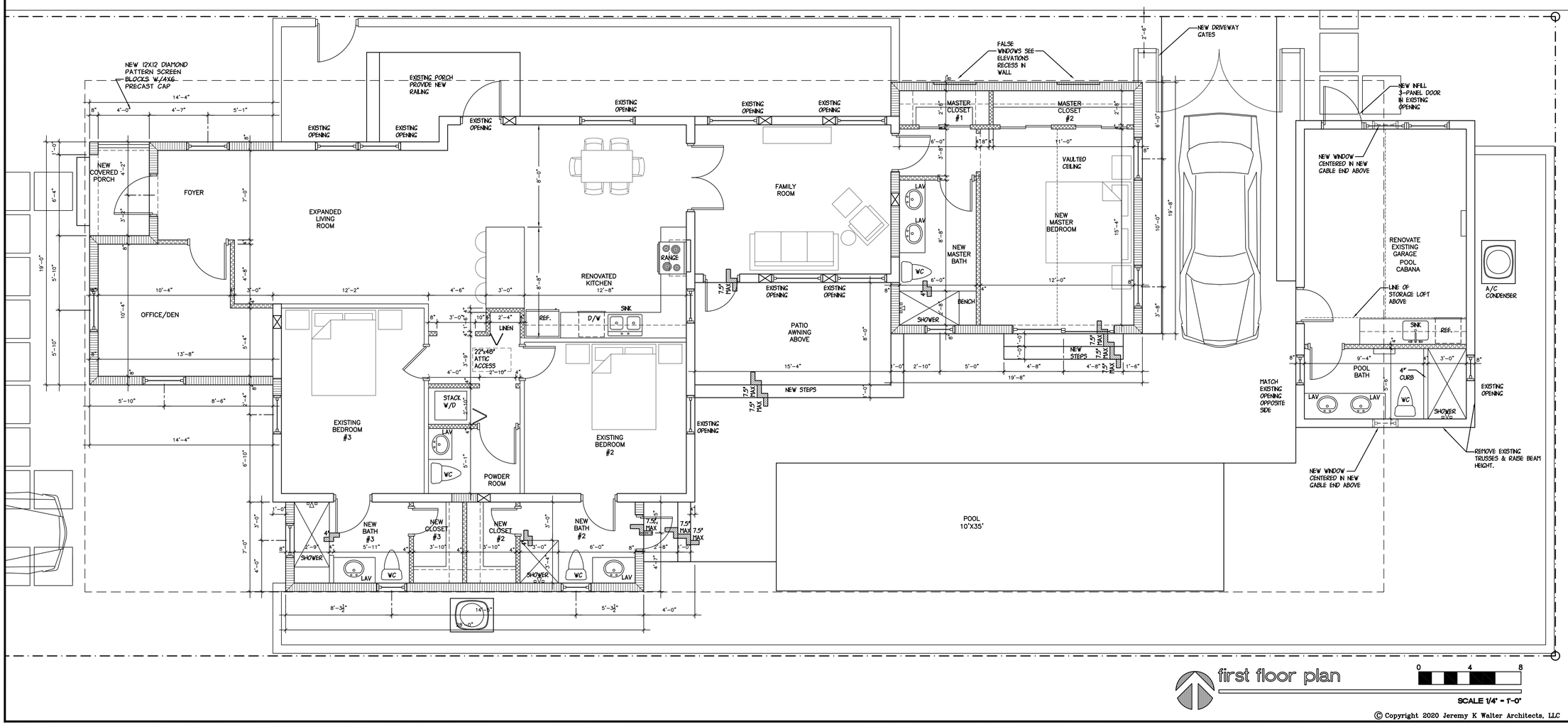
Total covered area = 1514 sf

proposed square footages

A/C AREA
1st floor a/c = 1990 sf
Pool house = 336 sf
Total a/c = 2326 sf

NON A/C AREA
Front porch = 34 sf
Total non a/c = 34 sf

Total covered area = 2360 sf



first floor plan

SCALE 1/4" = 1'-0"

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FOR ARB REVIEW

Seal

Jeremy K. Walter
AR-15125

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PROPOSED ADDITIONS & RENOVATIONS AT:
732 NORTH PALMWAY
LAKE WORTH BEACH
PALM BEACH COUNTY, FLORIDA

Revisions
HISTORIC REVIEW. 5/25/21
HISTORIC REVIEW. 6/24/21

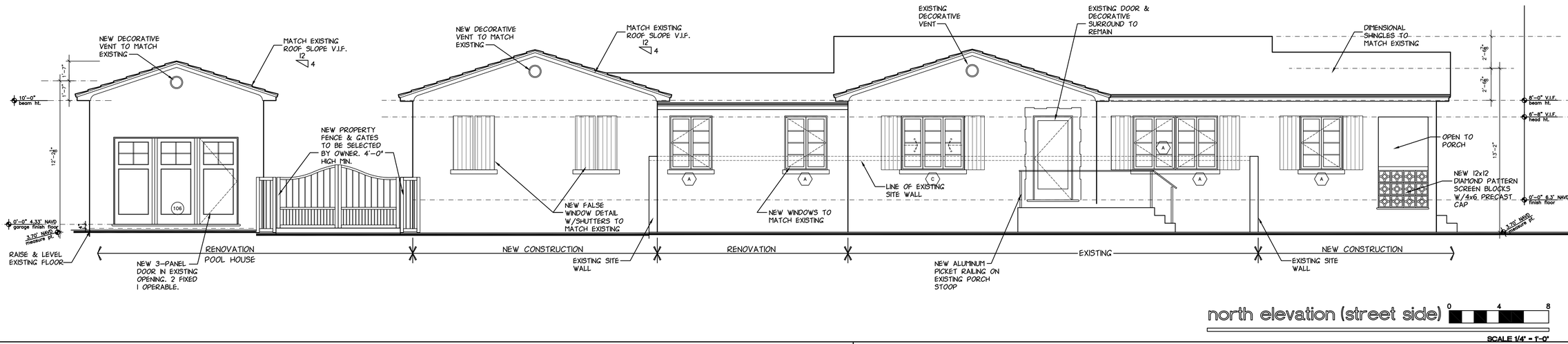
Date: 4/5/21
Schematic Design

Drawn: JKW

Job No.
20-111

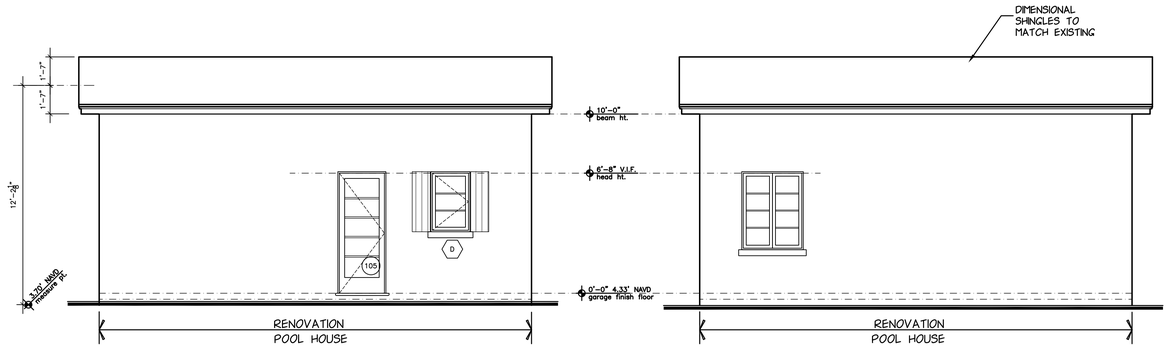
Sheet Title
FIRST FLOOR PLAN

Drawing No.
A-2



north elevation (street side) 0 4 8

SCALE 1/4" = 1'-0"



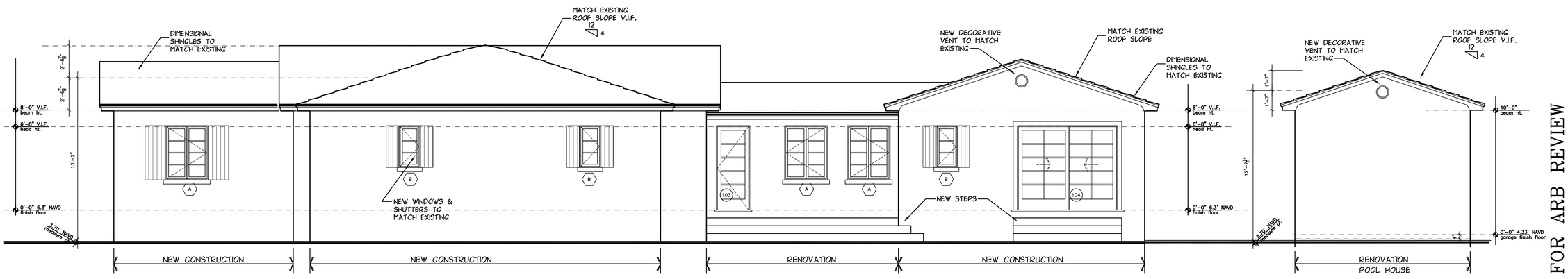
west elevation pool house 0 4 8

SCALE 1/4" = 1'-0"

east elevation pool house 0 4 8

SCALE 1/4" = 1'-0"

Option A: Gable Configuration
Preferred Design



south elevation (side) 0 4 8

SCALE 1/4" = 1'-0"

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Seal

Jeremy K. Walter
AR-15125

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PROPOSED ADDITIONS & RENOVATIONS AT:
732 NORTH PALMWAY
LAKE WORTH BEACH
PALM BEACH COUNTY, FLORIDA

FOR ARB REVIEW

Revisions
HISTORIC REVIEW. 5/25/21
HISTORIC REVIEW. 6/24/21
HISTORIC REVIEW. 7/16/21

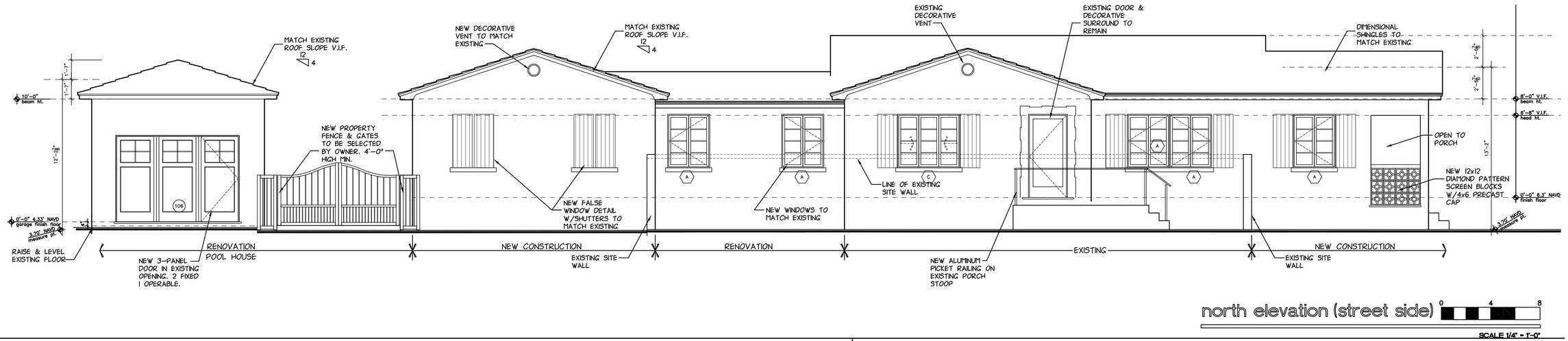
Date: 4/5/21
Schematic Design

Drawn: JKW

Job No.
20-111

Sheet Title
ELEVATIONS

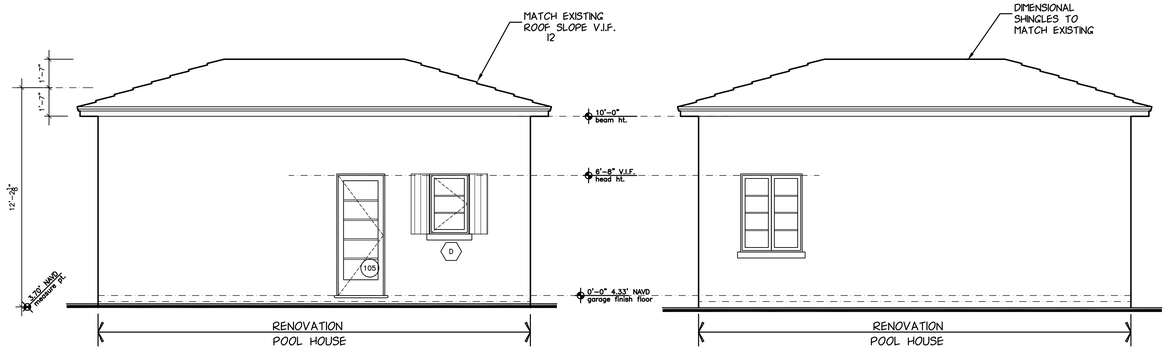
Drawing No.
A-4



north elevation (street side) 0 4 8

SCALE 1/4" = 1'-0"

Option B: Hip Configuration
Alternate Design



west elevation
pool house

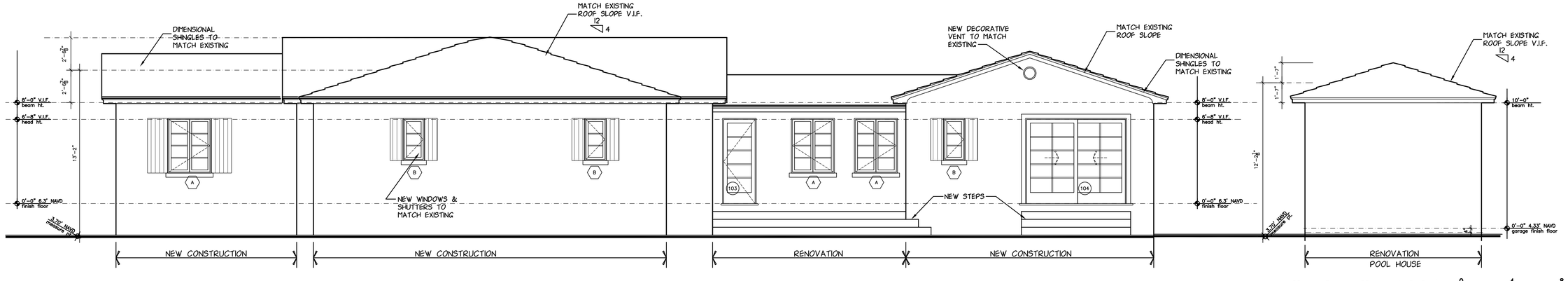
0 4 8

SCALE 1/4" = 1'-0"

east elevation
pool house

0 4 8

SCALE 1/4" = 1'-0"

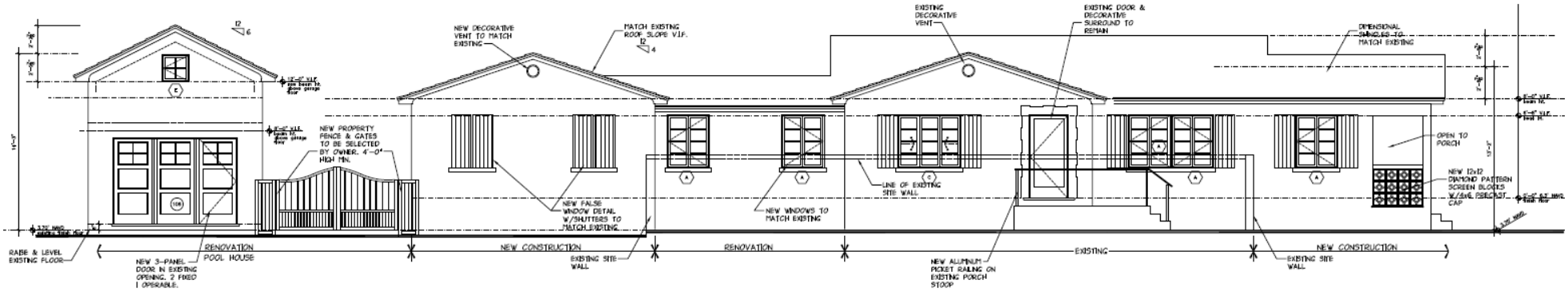


south elevation (side) 0 4 8

SCALE 1/4" = 1'-0"

ELEVATIONS

A-4

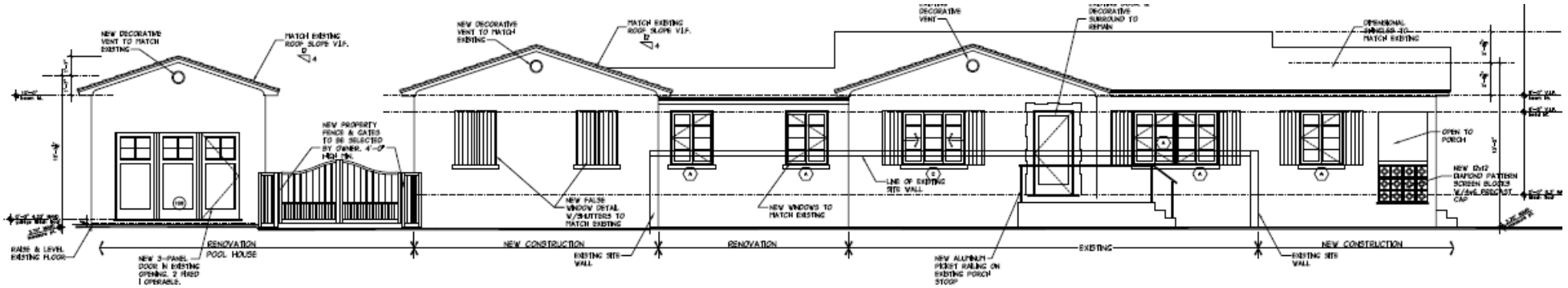


north elevation (street side)

SCALE 1/4" = 1'-0"

Initial Design

July 14, 2021 HRPB Meeting

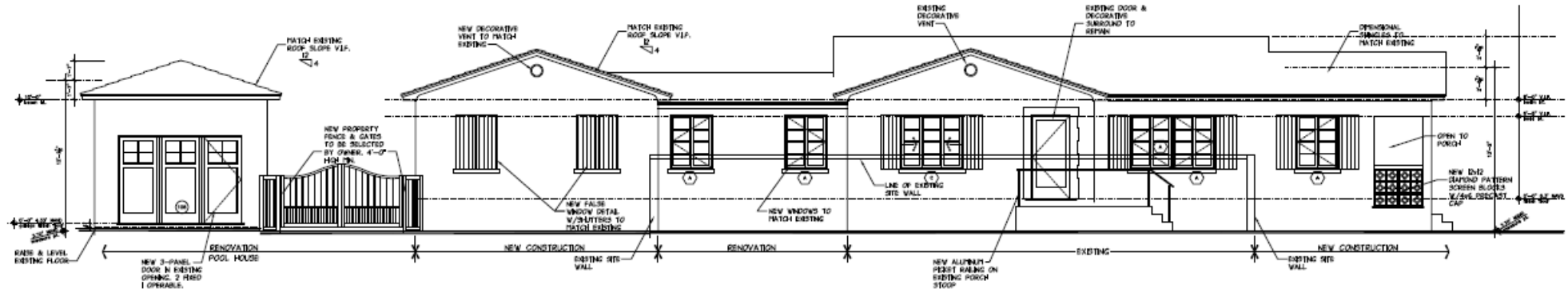


north elevation (street side)

Revised Design

Gable Configuration

September 8, 2021 HRPB Meeting



north elevation (street side)

Revised Alternative Design

Hip Configuration

September 8, 2021 HRPB Meeting

DEPARTMENT FOR COMMUNITY SUSTAINABILITY
Planning Zoning Historic Preservation Division
1900 2ND Avenue North
Lake Worth Beach, FL 33461
561-586-1687

ATTACHMENT D – ELEVATION CERTIFICATE

MEMORANDUM DATE: September 1, 2021

AGENDA DATE: **September 8, 2021**

TO: Chair and Members of the Historic Resources Preservation Board

RE: **732 North Palmway**

FROM: Jordan Hodges, Senior Preservation Coordinator
Abraham Fogel, Preservation Planner
Department for Community Sustainability

TITLE: HRPB Project Number(s) 21-00100119 and 21-01500004: A Certificate of Appropriateness (COA) for exterior alterations and a variance from base flood elevation requirements of the Florida Building Code for the detached garage located at 732 North Palmway; PCN #38-43-44-21-15-228-0080. The subject property is located within the Single-Family Residential (SF-R) zoning district and is a contributing resource to the Northeast Lucerne Local Historic District.

U.S. DEPARTMENT OF HOMELAND SECURITY
Federal Emergency Management Agency
National Flood Insurance Program

OMB No. 1660-0008
Expiration Date: November 30, 2022

ELEVATION CERTIFICATE

Important: Follow the instructions on pages 1–9.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A – PROPERTY INFORMATION

FOR INSURANCE COMPANY USE

A1. Building Owner's Name
JAMES T. MURPHY

Policy Number:

A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.
732 N PALMWAY

Company NAIC Number:

City	State	ZIP Code
LAKE WORTH	Florida	33460

A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.)
TAX PARCEL NUMBER 38-43-44-21-15-228-0080

A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) RESIDENTIAL

A5. Latitude/Longitude: Lat. 26.62481 Long. -80.04993 Horizontal Datum: ☐ NAD 1927 ☒ NAD 1983

A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.

A7. Building Diagram Number 8

A8. For a building with a crawlspace or enclosure(s):

a) Square footage of crawlspace or enclosure(s) 1,172 sq ft

b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade 8

c) Total net area of flood openings in A8.b 1,048 sq in

d) Engineered flood openings? ☐ Yes ☒ No

A9. For a building with an attached garage:

a) Square footage of attached garage N/A sq ft

b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade N/A

c) Total net area of flood openings in A9.b N/A sq in

d) Engineered flood openings? ☐ Yes ☒ No

SECTION B – FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. NFIP Community Name & Community Number	B2. County Name	B3. State
CITY OF LAKE WORTH BEACH 120213	PALM BEACH COUNTY	Florida

B4. Map/Panel Number	B5. Suffix	B6. FIRM Index Date	B7. FIRM Panel Effective/ Revised Date	B8. Flood Zone(s)	B9. Base Flood Elevation(s) (Zone AO, use Base Flood Depth)
12099C0781	F	10/05/2017	10/05/2017	X500	N/A FT.

B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9:
☐ FIS Profile ☒ FIRM ☐ Community Determined ☐ Other/Source:

B11. Indicate elevation datum used for BFE in Item B9: ☐ NGVD 1929 ☒ NAVD 1988 ☐ Other/Source:

B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? ☐ Yes ☒ No
Designation Date: N/A ☐ CBRS ☐ OPA

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2022

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 732 N PALMWAY			Policy Number:
City LAKE WORTH	State Florida	ZIP Code 33460	Company NAIC Number

SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: ☐ Construction Drawings* ☐ Building Under Construction* ☒ Finished Construction

*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations – Zones A1–A30, AE, AH, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO. Complete Items C2.a–h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters.

Benchmark Utilized: PALM BEACH CO. B.M. AD6690 Vertical Datum: NAVD 1988

Indicate elevation datum used for the elevations in items a) through h) below.

☐ NGVD 1929 ☒ NAVD 1988 ☐ Other/Source: _____

Datum used for building elevations must be the same as that used for the BFE.

		Check the measurement used.	
a) Top of bottom floor (including basement, crawlspace, or enclosure floor)	3.7	☒ feet	☐ meters
b) Top of the next higher floor	6.3	☒ feet	☐ meters
c) Bottom of the lowest horizontal structural member (V Zones only)	N.A	☒ feet	☐ meters
d) Attached garage (top of slab)	N.A	☒ feet	☐ meters
e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment and location in Comments)	4.0	☒ feet	☐ meters
f) Lowest adjacent (finished) grade next to building (LAG)	3.7	☒ feet	☐ meters
g) Highest adjacent (finished) grade next to building (HAG)	3.9	☒ feet	☐ meters
h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support	N.A	☒ feet	☐ meters

SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information.
I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Were latitude and longitude in Section A provided by a licensed land surveyor? ☒ Yes ☐ No ☐ Check here if attachments.

Certifier's Name	License Number	
CLYDE MCNEAL	LB 8111	
Title SURVEYOR		
Company Name NEXGEN SURVEYING, LLC.		
Address 5601 CORPORATE WAY, SUITE 103		
City WEST PALM BEACH	State Florida	ZIP Code 33407
Signature	Date 07/01/2021	Telephone (561) 508-6272

Clyde O McNeal Digitally signed by Clyde O McNeal Date: 2021.07.01 16:22:11 -04'00'

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments (including type of equipment and location, per C2(e), if applicable)

This information is being collected for the primary purpose of estimating the risk premium rates necessary to provide flood insurance and is not to be used for any construction permitting purposes.
Latitude/Longitude in A5 derived from Google Maps. Machinery/Equipment in C2e is an A/C Pad.
This Elevation Certificate was first completed on 08/24/2020, it has been resigned/sealed to add detached garage information.
The detached garage has a top of slab elevation of 4.0 feet.

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2022

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 732 N PALMWAY			Policy Number:
City LAKE WORTH	State Florida	ZIP Code 33460	Company NAIC Number

SECTION E – BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zones AO and A (without BFE), complete Items E1–E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B,and C. For Items E1–E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).

a) Top of bottom floor (including basement, crawlspace, or enclosure) is N . A ☒ feet ☐ meters ☒ above or ☐ below the HAG.

b) Top of bottom floor (including basement, crawlspace, or enclosure) is N . A ☒ feet ☐ meters ☒ above or ☐ below the LAG.

E2. For Building Diagrams 6–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 1–2 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is N . A ☒ feet ☐ meters ☒ above or ☐ below the HAG.

E3. Attached garage (top of slab) is N . A ☒ feet ☐ meters ☒ above or ☐ below the HAG.

E4. Top of platform of machinery and/or equipment servicing the building is N . A ☒ feet ☐ meters ☒ above or ☐ below the HAG.

E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? ☐ Yes ☐ No ☐ Unknown. The local official must certify this information in Section G.

SECTION F – PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.

Property Owner or Owner's Authorized Representative's Name			
Address	City	State Florida	ZIP Code
Signature	Date	Telephone	

Comments

☐ Check here if attachments.

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2022

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 732 N PALMWAY			Policy Number:
City LAKE WORTH	State Florida	ZIP Code 33460	Company NAIC Number

SECTION G – COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8–G10. In Puerto Rico only, enter meters.

G1. ☐ The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)

G2. ☐ A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.

G3. ☐ The following information (Items G4–G10) is provided for community floodplain management purposes.

G4. Permit Number	G5. Date Permit Issued	G6. Date Certificate of Compliance/Occupancy Issued

G7. This permit has been issued for: ☐ New Construction ☐ Substantial Improvement

G8. Elevation of as-built lowest floor (including basement) of the building: _____ . _____ ☐ feet ☐ meters Datum _____

G9. BFE or (in Zone AO) depth of flooding at the building site: _____ . _____ ☐ feet ☐ meters Datum _____

G10. Community's design flood elevation: _____ . _____ ☐ feet ☐ meters Datum _____

Local Official's Name	Title
Community Name	Telephone
Signature	Date

Comments (including type of equipment and location, per C2(e), if applicable)

☐ Check here if attachments.

ELEVATION CERTIFICATE

BUILDING PHOTOGRAPHS

See Instructions for Item A6.

OMB No. 1660-0008
Expiration Date: November 30, 2022

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 732 N PALMWAY			Policy Number:
City LAKE WORTH	State Florida	ZIP Code 33460	Company NAIC Number

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.

Photo One Caption Photo Taken 08/19/2020 "Front View"

Photo Two Caption Photo Taken 08/19/2020 "Rear View"

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 732 N PALMWAY			Policy Number:
City LAKE WORTH	State Florida	ZIP Code 33460	Company NAIC Number

If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8.

Photo One Caption Photo Taken 08/19/2020 "Side Views"

Photo Two Caption Photo Taken 08/19/2020 "Side View"

DEPARTMENT FOR COMMUNITY SUSTAINABILITY
Planning Zoning Historic Preservation Division
1900 2ND Avenue North
Lake Worth Beach, FL 33461
561-586-1687

ATTACHMENT E – DESIGN GUIDELINES: MINIMAL TRADITIONAL

MEMORANDUM DATE: September 1, 2021

AGENDA DATE: September 8, 2021

TO: Chair and Members of the Historic Resources Preservation Board

RE: **732 North Palmway**

FROM: Jordan Hodges, Senior Preservation Coordinator
Abraham Fogel, Preservation Planner
Department for Community Sustainability

TITLE: HRPB Project Number(s) 21-00100119 and 21-01500004: A Certificate of Appropriateness (COA) for exterior alterations and a variance from base flood elevation requirements of the Florida Building Code for the detached garage located at 732 North Palmway; PCN #38-43-44-21-15-228-0080. The subject property is located within the Single-Family Residential (SF-R) zoning district and is a contributing resource to the Northeast Lucerne Local Historic District.

Minimal Traditional

MINIMAL TRADITIONAL

Lake Worth Beach, Florida

A Style Introduction:

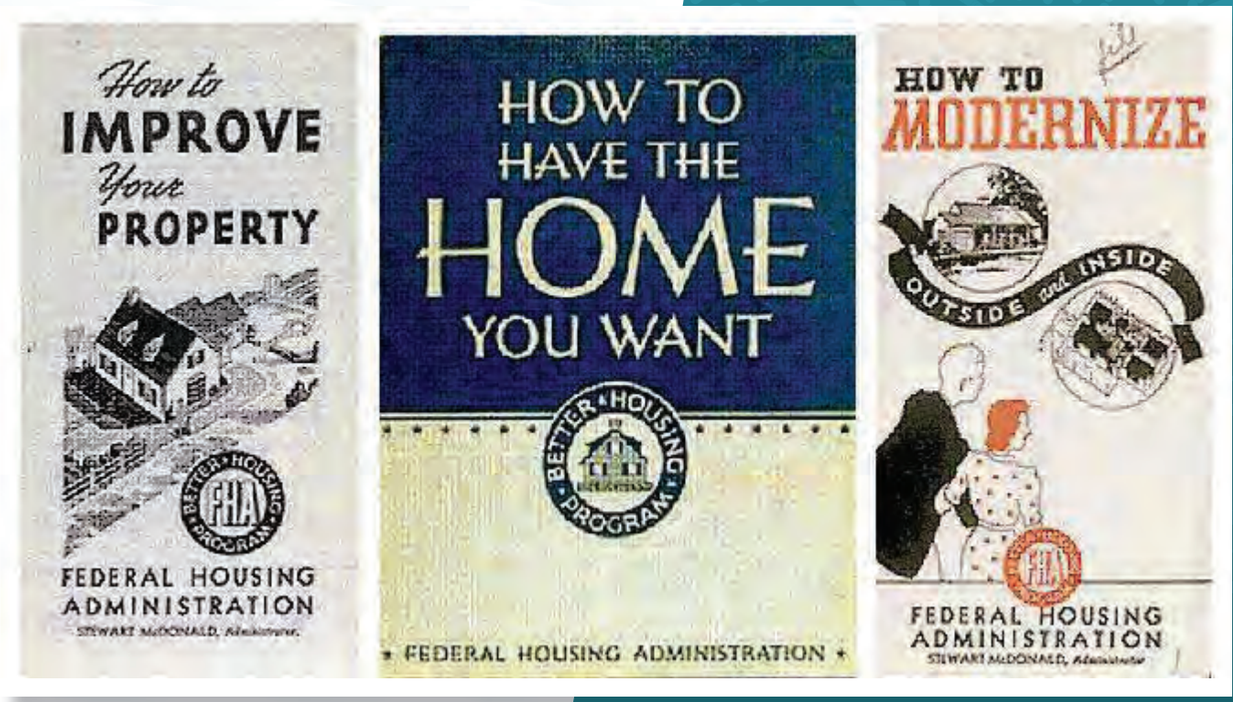
The houses categorized as Minimal Traditional are limited in their features or details (hence, the “minimal,”) however they are typically well proportioned and exude a simple elegance. In fact, the little bit of detailing they do have tends to make reference to a previously popular or more traditional style (hence, the “traditional”). However, these houses played such an important part of the social and economic trends of the 1930s and 1940s and filled a very great need for so many Americans, that their significance in our built heritage cannot be overstated.

Building and home construction had come to nearly a complete standstill during the worst of the Great Depression. Although it started in the United States as just a severe economic downturn, the nation was soon rocked by a disastrous stock market crash in October 1929. The Great Depression would eventually affect the entire world and lasted for almost a full decade. In America, this caused rampant unemployment and the harshest living conditions many would ever face as families struggled just to survive.

The home-building industry was particularly hard hit because many people couldn’t afford their rent, much less afford to buy a new home. Architects, engineers, construction workers, home-building supply factory workers – were all without jobs. In an effort to help put people back to work, the Federal Government created the Federal Housing Administration (FHA) in 1934. The FHA created our current financial mortgaging system so that people could apply for home loans, which then had the effect of starting up the home-building

industry again. The FHA then created publications that not only detailed how to build small houses (and maximize the space inside,) but also how to plan whole neighborhoods of these small houses. Builders and architects anxious to get back to work took note: if these were the kinds of houses that the FHA would provide loans for, that is what they would build!

We had barely come out of the Great Depression when the Japanese bombed Pearl Harbor on December 7, 1941. The entire country was now thrust into a massive effort to support the troops and the industry that war creates, including the manufacturing of military vehicles, ships, planes, bombs, and other machinery. Production plants sprang up around the country, and there was a great need to house all of the plant workers nearby. Entire communities, full of these affordable-to-build houses, were constructed for the employees and their families.



Federal Housing Administration advertisements from the 1940's.

MINIMAL TRADITIONAL

General Electric & Co. appliance advertisement

G.I. Bill informational brochure, 1944.

In 1944, the G.I. Bill was introduced, which essentially made a promise that every returning serviceman would be provided very low interest loans in order to purchase a home. (The bill would also provide tuition for veterans who wanted to continue their education, and also provided a small stipend for those that were still unemployed.) Developers knew that the FHA had already outlined what design and size home would be eligible for these loans and began replicating them in mass quantities. In the end, more than 15 million servicemen would take advantage of some aspect of the G.I. Bill, and the housing landscape throughout the country would be forever changed.

Masonry Minimal Traditional

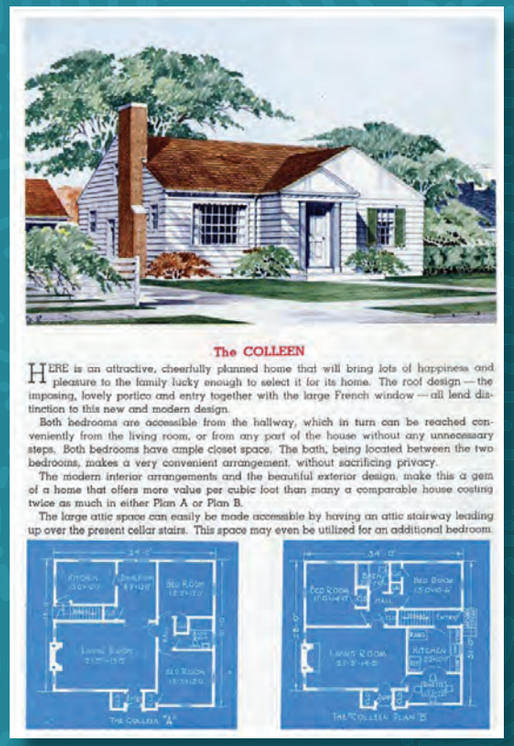
Minimal Traditional Elevation

A Style Described:

The key to a Minimal Traditional Frame home is its simplicity; simple in plan, simple roof lines, minimal decoration or architectural features. These one-story houses usually have a gable roof, or gable and wing, with the front-facing wing only protruding minimally from the rest of the house. Occasionally they would feature a side-gable roof, and this form was also called a "Cape Cod" house, popular because it symbolized the functional houses of Colonial America. Dormers were rarely present, though scalloping could sometimes be found at the base of the gable. Roofs were typically metal shingle or occasionally asphalt shingle.

These houses usually did not include a garage or carport, but sometimes had a small porch. They were typically clad in only one material, be it brick, wood, or stucco, and if more than one material appeared, the secondary material was usually filling the front-facing gable. Secondary materials were normally painted the same color as the rest of the house to provide continuity. With smaller houses, the goal was to make them appear larger, and so a consistent color scheme was used.

MINIMAL TRADITIONAL



The COLLEEN

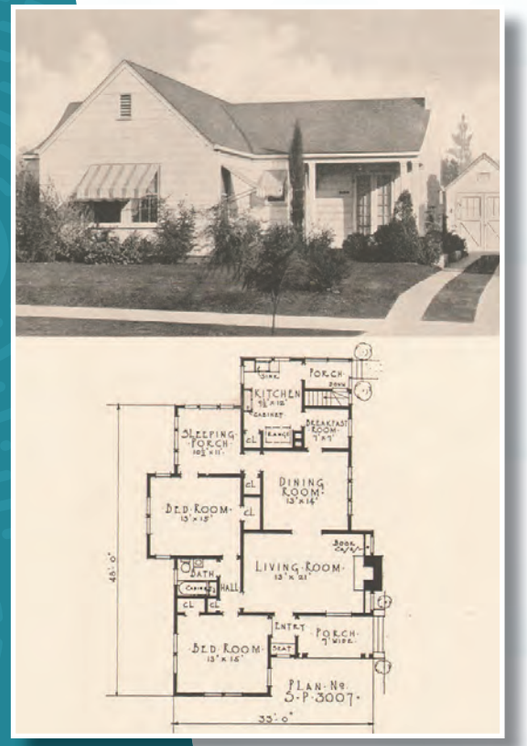
HERE is an attractive, cheerfully planned home that will bring lots of happiness and pleasure to the family lucky enough to select it for its home. The roof design — the imposing, lovely portico and entry together with the large French window — all lend distinction to this new and modern design.

Both bedrooms are accessible from the hallway, which in turn can be reached conveniently from the living room, or from any part of the house without any unnecessary steps. Both bedrooms have ample closet space. The bath, being located between the two bedrooms, makes a very convenient arrangement, without sacrificing privacy.

The modern interior arrangements and the beautiful exterior design, make this a gem of a home that offers more value per cubic foot than many a comparable house costing twice as much in either Plan A or Plan B.

The large attic space can easily be made accessible by having an attic stairway leading up over the present cellar stairs. This space may even be utilized for an additional bedroom.

Minimal Traditional pattern book home, 1940's.

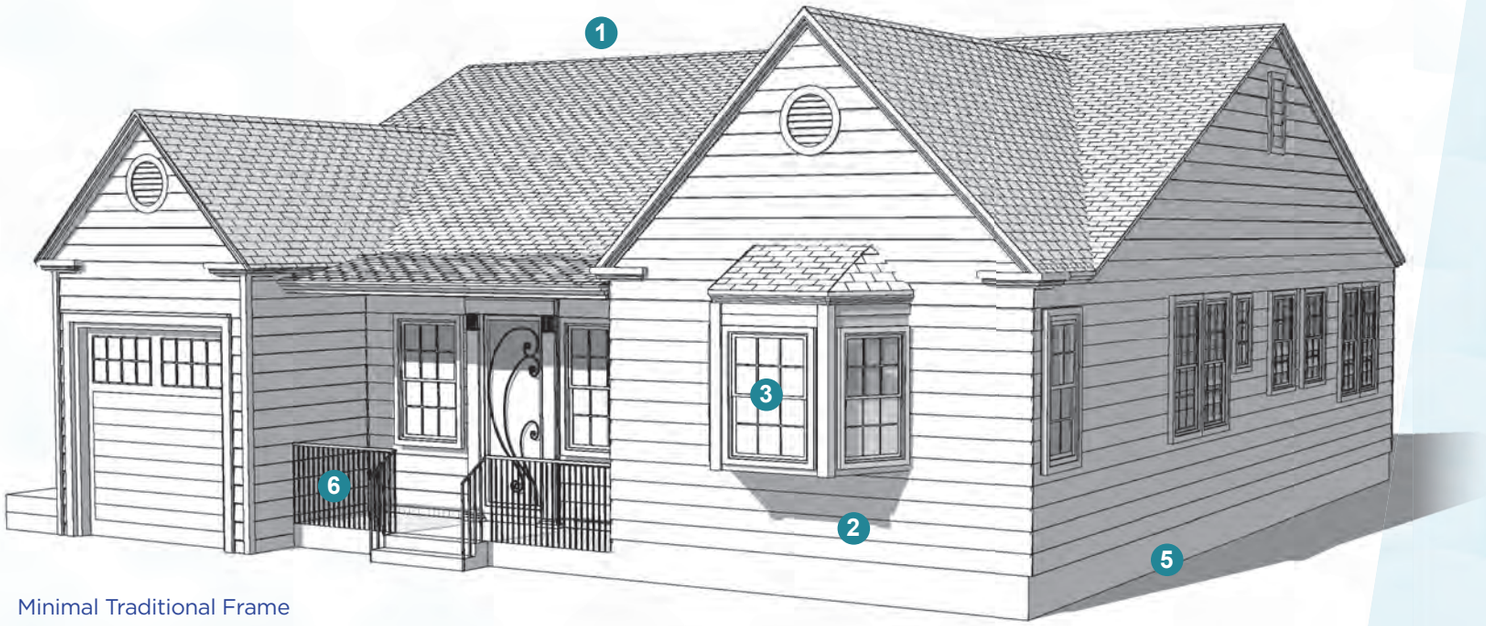


Sears, Roebuck and Co. home,1940's.

Doors were usually the traditional panel door. Windows were double-hung sash, with multiple panes or one-over-one configurations. Bay windows were sometimes present. Chimneys, shutters, and brick planters were about the extent of any additional features.

Any ornamentation on the house was a nod to the elements of classical architecture, such as a classical door surround or colonial shutters, though some variation did occur depending on where in the country the houses were located. In South Florida, it was not unusual for a Minimal Traditional house to have a racing stripe or projecting eyebrow as its featured detail, a nod to the Art Deco and Streamline Moderne styles that were so prevalent in the decades just before. Round, cast concrete vent blocks in the gable end, and a larger, rectangular cast concrete vent in the side of the garage were also a popular Florida variation. Both of these usually featured an animal, plant, or nautical theme to represent the local environment, such as flamingos, palms, and galleons (a Spanish sailing ship.)

Wood Frame Minimal Traditional



Minimal Traditional Frame

A Style Defined:

1. **Roofs:**
   - Roofs were originally metal shingle

2. **Exterior Finishes and Features:**
   - Clad in wide plank lap siding
   - Fascia trim typically utilized sculpted or contoured detailing.
   - Gable vents were common.

3. **Doors & Windows:**
   - Typically had wood panel, half panel / half glass doors. They also had French doors with five or more lights
   - Garage doors were wood with recessed panels.

4. **Chimney:**
   - When utilized, chimneys are either brick or stucco with a very simple chimney cap

5. **Foundation:**
   - Foundations were continuous concrete stem walls with periodic vented openings.
   - Frame Minimal Traditional will often have decorative crawl space vents.

6. **Porches:**
   - Porches were integral to the house under the main roof or an extension of the main roof.
   - There were often wood columns with bases and capitals.

MINIMAL TRADITIONAL

A Style Defined:

1. Roofs:
- Roofs were originally flat white concrete tile, or occasionally glazed white barrel tiles.

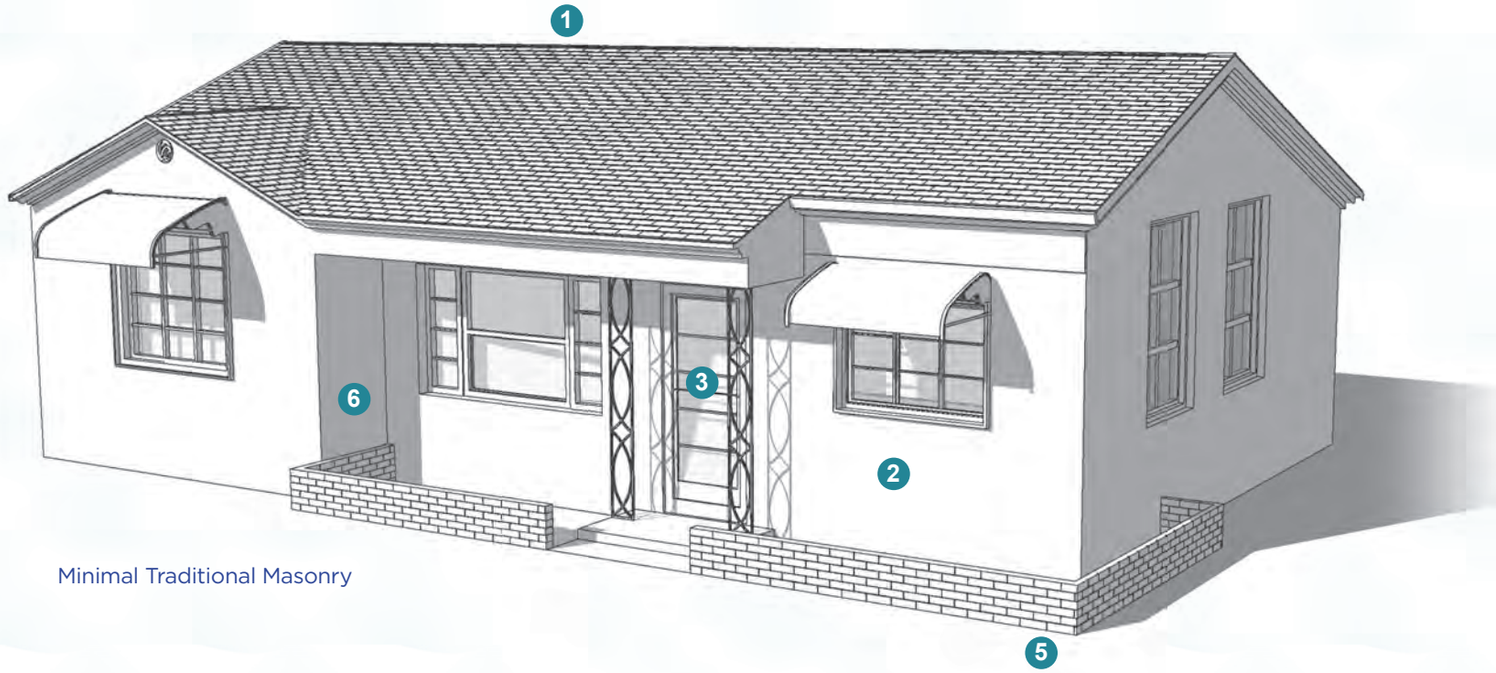
2. Exterior Finishes and Features:
- Smooth stucco with concrete and plaster bas-relief panels.
- Slump brick or stone planter boxes were a common decorative feature.

3. Doors & Windows:
- Windows were typically steel casement, aluminum frame awning, or fixed pane.
- Typically had 3-panel wooden doors, aluminum doors with jalousies, and flush doors with applied trim.
- Clamshell or roll down shutters were permanent and offered shade and storm protection.

4. Chimney:
- When utilized, chimneys are either brick or stucco with a very simple chimney cap

5. Foundation:
- Will often have decorative crawl space vents

6. Porches:
- Porches were integral to the house under the main roof or an extension of the main roof.
- There were often wrought iron porch supports.



Minimal Traditional Masonry

GALLERY OF EXAMPLES

Wood Frame Minimal Traditional — Lake Worth Beach, Florida

Masonry Minimal Traditional — Lake Worth Beach, Florida

Description of Minimal Traditional Windows

- Wood Frame Minimal Traditional windows are primarily wooden double-hung, single-hung, or casement type windows. They often have multiple lights.
- Masonry Minimal Traditional windows are almost exclusively metal frame casements, fixed pane, or awning windows.
- The Minimal Traditional windows are always vertical or square in their proportion. Often two or three windows are grouped together.
- These windows are inset deep into the exterior wall creating deep sill and shadow lines.
- It is perfectly acceptable for Masonry and Wood Frame Minimal Traditional windows to be protected by permanent, operable shutters which are the best way to protect the windows.
- Wood Frame Minimal Traditional windows are typically surrounded by wood trim with distinct header and sill details.
- Masonry Minimal Traditional often utilized sloping brick window sills.

One over one, as single hung or double-hung windows.

Three over one, as single hung or double hung windows.

Six over one, as single hung or double hung windows.

Wooden casement windows are common in Wood Frame Minimal Traditional architecture

Corner steel casement windows

Fixed-pane and steel casement windows

This Wood Frame Minimal Traditional home has a combination of double-hung and fixed-pane windows

Aluminum awning windows

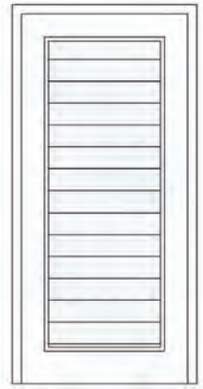
Fixed-pane and steel casement windows

MINIMAL TRADITIONAL

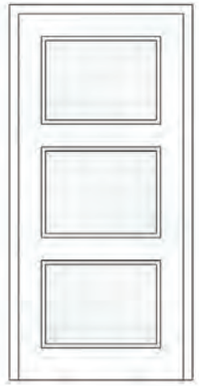
Description of Minimal Traditional Doors

- Wood Frame Minimal Traditional doors are typically wood panel or half panel / half glass. Also includes French doors with five or more lights.
- Masonry Minimal Traditional doors are typically three-panel wood, jalousie, and flush doors with applied trim.

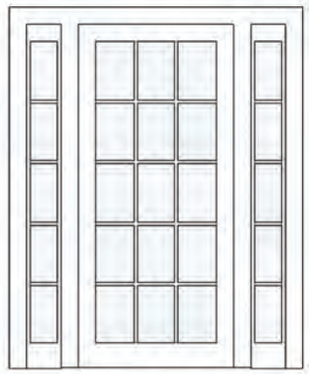
Minimal Traditional wooden panel door with side lights and a fan light



Aluminum Frame Jalousie Door



Three-panelled wood door



This 15-lite “French” door is also a common door type in the Wood Frame Minimal Traditional style

Description of Minimal Traditional Roofs and Exterior Surfaces

- Wood Frame Minimal Traditional buildings were typically clad in wood plank lap siding and had metal shingle roofs.
- Masonry Minimal Tradition structures traditionally had white concrete roof tiles and were smooth stucco with bas-relief panels.

Masonry Minimal Traditional with white barrel tile roof

Masonry Minimal Traditional with smooth stucco finish and white barrel tile roof

Decorative concrete garage vents are functional ornamentation in the Masonry Minimal Traditional style

Wood Frame Minimal Traditional with a metal shingle roof

Wood Frame Minimal Traditional with a second story over the garage

DEPARTMENT FOR COMMUNITY SUSTAINABILITY
Planning Zoning Historic Preservation Division
1900 2ND Avenue North
Lake Worth Beach, FL 33461
561-586-1687

MEMORANDUM DATE: September 1, 2021

AGENDA DATE: September 8, 2021

TO: Chair and Members of the Historic Resources Preservation Board

RE: **1020 South Lakeside Drive**

FROM: Jordan Hodges, Senior Preservation Coordinator
Abraham Fogel, Preservation Planner
Department for Community Sustainability

TITLE: **HRPB Project Number 19-00100107:** Consideration of a Completed Work Application (Part III) for a Historic Preservation Ad Valorem Tax Exemption and a recommendation to the City Commission for a Historic Preservation Ad Valorem Tax Exemption for the subject property located at **1020 South Lakeside Drive**; PCN#38-43-44-27-01-042-0010. The subject property is a contributing resource to the South Palm Park Local Historic District and is located within the Single-Family Residential (SF-R) zoning district.

OWNER: Lewis Makepeace and Nathalie Makepeace
1020 South Lakeside Drive
Lake Worth Beach, FL 33460

PROJECT BACKGROUND:

The single-family structure at 1020 South Lakeside Drive was constructed c. 1956 in a Masonry Vernacular architectural style with a Ranch style floor plan. The structure was designed by architect Ames Bennett at a cost of $19,400. The property has public frontage on South Lakeside Drive to the east and South Palm Park to the south. The original architectural drawings are as **Attachment A**. The architectural drawings illustrate a single-story residence of masonry construction with a smooth stucco exterior finish, cast aluminum columns, flat white concrete tile hip roof, and aluminum awning windows. Portions of the structure are detailed with decorative stucco quoins. In 1972, a bedroom addition was constructed at the rear of the structure.

At the September 11, 2019 HRPB meeting, the property received approval for a COA for an addition and exterior alterations, a Base Flood Elevation (BFE) variance as a result of a substantial improvement, and a Pre-Construction approval for a Historic Preservation Ad Valorem Tax Exemption. The stamped permitting plans and HRPB Development Order for COA#19-00100107 are included as **Attachment B**. Photos of the structure prior to the rehabilitation are included as **Attachment C**. The Completed Work (Part III) application for a Historic Preservation Ad Valorem Tax Exemption is included as **Attachment D** and current photos of the property illustrating the completed work are included as **Attachment E.** An analysis of the scope of work approved by the HRPB and completed by the applicant can be found on pages 3-6 of this report. Review of this application was scheduled for the July 14, 2021 regular meeting, but was continued to the September 8, 2021 meeting by request of the applicant.

PROJECT REQUEST:

The application will require the following approval:

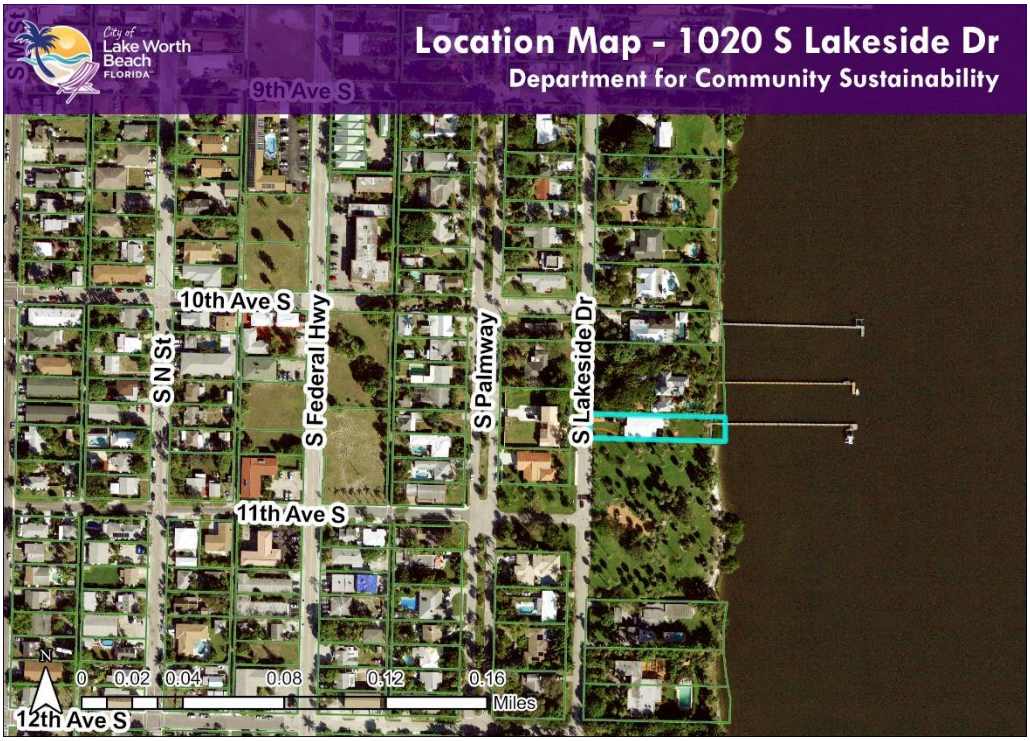
1. Approval of a **Completed Work Application (Part III)** for a Historic Preservation Ad Valorem Tax Exemption and a **recommendation to the City Commission** of a Historic Preservation Ad Valorem Tax Exemption

STAFF RECOMMENDATION:

Staff recommends the Board review the Completed Work Application and supporting attachments to determine if the project was completed in a manner consistent with the HRPB Development Order and the intent of the Secretary of Interior Standards, with particular regards to the window and door replacement. If the Board moves to certify the completed work, staff recommends the HRPB recommend approval of the Historic Preservation Ad Valorem Tax Exemption to the Lake Worth Beach City Commission.

PROPERTY DESCRIPTION:

Owners	Lewis and Nathalie Makepeace
General Location	East side of South Lakeside Drive directly north of South Palm Park
PCN	38-43-44-27-01-042-0010
Zoning	Single Family Residential (SF-R)
Existing Land Use	Single Family Residence
Future Land Use Designation	Single Family Residential (SFR)



COMPREHENSIVE PLAN ANALYSIS:

The HRPB determined at the September 11, 2019 regular meeting that the project complies with Objective 3.4.2, which encourages the identification of historically significant resources, and to promote their preservation and rehabilitation as referenced by the Surveys of Historic Properties conducted by the City of Lake Worth Beach. The project was also determined to be consistent with Policy 3.4.2.1 of the Comprehensive Plan, which encourages the preservation of historic, architectural, cultural, or aesthetic resources through the enforcement of the City's Historic Preservation Ordinance.

COMPLETED WORK ANALYSIS:

COA#19-00100107: Pre-Construction Scope of Work

The HRPB reviewed and approved a proposal for an addition and exterior alterations to the contributing resource at the September 11, 2019, regular meeting. The general scope of work for COA#19-00100107 was approved as follows;

1. Remove all existing bronze framed awning windows and replace them with new impact aluminum single-hung, horizontal slider, casement, and fixed windows with bronze frames and divided light patterns to replicate the existing windows
2. Install a new flat white concrete tile roof to match the original roofing material
3. Replace exterior doors with new impact French, sliding, and solid doors
4. Replace the garage door with a new impact flush panel door
5. Construct a new +/- 760 square foot single-story addition to the rear of the existing structure
6. Install a new pool, paver deck, and walkways to the rear of the property

In addition to the scope of work covered in the COA application, the project also included a full interior renovation, including new electrical, plumbing, and mechanical systems.

COA#19-00100107: Pre-Construction Scope of Work Compliance Review

Based on the Completed Work application, the approved scope of work was generally adhered to and the completed building reflects the exterior alterations proposed by the applicant at the September 11, 2019 meeting.

COA#19-00100107: HRPB Conditions of Approval Compliance Review

The HRPB included nine (9) conditions of approval in the COA Development Order for the project, and three (3) conditions of approval for the Historic Preservation Ad Valorem Tax Exemption. Listed below are the conditions of approval and staff's compliance review for each condition.

1. All proposed exterior entry doors shall be aluminum impact full-view French and sliding doors, and shall utilize clear glass, frosted glass, obscure glass, or glass with a clear Low-E coating. **Tinted, highly reflective, etched, or leaded glass shall not be used.**

Staff Analysis: The condition is not met. The door types utilized on the project are correct, but the glazing has a dark grey Low-E treatment. See Historic Preservation Analysis, pgs. 5-6.

2. The proposed windows shall be aluminum impact single-hung, casement, horizontal sliding, and fixed windows with a bronze or clear-anodized silver-mill finish and shall utilize clear glass, or glass with a clear Low-E coating. **Tinted, grey, mirrored, or colored glass shall <u>not</u> be used**.

   Staff Analysis: The condition is not met. The window types utilized on the project are correct, but the glazing has a dark grey Low-E treatment. See Historic Preservation Analysis, pgs. 5-6.

3. All divided light patterns shall be created utilizing **exterior raised applied triangular muntins**. External flat muntins or "grills between the glass" shall not be permitted.

   Staff Analysis: The condition is not met. The windows were installed with external flat muntins. See Historic Preservation Analysis, pgs. 5-6.

4. The windows and doors shall be replaced in their original openings, and the openings shall not be made smaller by building in the framing or made larger by expanding the opening, except for the openings on the south elevation (as included on the plans).

   Staff Analysis: The condition is met. The windows were installed in the existing openings, except where otherwise specified on the plans.

5. The windows shall be installed recessed a minimum of two inches (2") in the jambs, and shall not be installed flush with the exterior wall.

   Staff Analysis: The condition is met. The windows are recessed in the jambs.

6. The replacement garage door shall be a flush panel style door.

   Staff Analysis: The condition is met. A flush panel garage door was installed.

7. The addition's stucco shall match the smooth stucco on the existing historic structure. The Applicant shall be responsible for contacting staff for an on-site inspection prior to stucco completion.

   Staff Analysis: The condition is met. The new portions of stucco match the stucco texture on the historic structure.

8. The roofing material shall be a flat white concrete tile, as proposed.

   Staff Analysis: The condition is met. A new flat white concrete tile roof was installed.

9. The Site Data Table shall be revised (sheet A-1) at permitting to ensure consistency with the site plan measurements.

   Staff Analysis: The condition is met. The Site Data Table was revised at permitting.

Historic Preservation Ad Valorem Tax Exemption Conditions of Approval

1) All work shall be conducted per the submitted and approved COA for exterior alterations, including all conditions of approval included in the Development Order. Any revisions or changes to this approval shall be reported to staff and may require additional staff or HRPB approvals.

   Staff Analysis: The condition is not met. Staff worked with the applicant on the selection of a solid entry door and a garage door while the project was in permitting. Staff found the products to be consistent with the architectural style of the property and they were approved administratively. The glazing utilized on the windows and glazed doors are not in compliance with the conditions of approval included in the Development Order. See Historic Preservation Analysis, pgs. 5-6.

2) All work shall be conducted in accordance with the Secretary of the Interior's Standards.

   Staff Analysis: Staff defers to the Board to determine if the intent of the Secretary of Interior Standards has been met. See Historic Preservation Analysis, pgs. 5-6.

3) The applicant shall be responsible for fully documenting the rehabilitation process so that the Board will have sufficient documentation to evaluate the completed work to make a recommendation on the tax exemption application to City Commission.

   Staff Analysis: The condition is met. The applicants submitted a Part III application and staff conducted a site visit after the work was completed to photograph the completed work.

HISTORIC PRESERVATION ANALYSIS:

The work completed at the property is largely compliant with COA#19-00100107, with the exception of the window and door glazing, which is in conflict with conditions of approval one and two, and the muntin profile, which is in conflict with condition of approval three.

Glazing Standard

This project was approved and conditioned prior to the adoption of the current glazing standard, which requires a visual light transmittance of 60% or greater. This standard effectively prohibits Low-E treatments which turn glazing shades of grey and/or green. The current glazing standard was researched and instituted due to inconsistent industry standards between manufacturers as to what constitutes "clear Low-E glazing". Per the applicant's Part III application (**Attachment D**), "Low-E windows were selected to protect the interior materials from the harsh exposed southern, eastern, and western exposures of the home" and "Bronze window frames and tinted glass were selected to provide the best match for the existing windows that were tinted bronze glass with bronze frames."

Per a review of the pre-construction photos (**Attachment C**), the original window glazing appears to have a tint application. Staff recommends that the Board review the pre-construction and post-construction photos to determine if the glazing that was utilized successfully replicates the original products. Staff reviewed the permitting documentation for the project, and a glass specification was not provided by the contractor at the time of permit review. The work at the property passed a window bucking inspection on

April 24, 2020, and a window final inspection on December 17, 2020. Although the window and door glazing is not in compliance with conditions of approval in the HRPB Development Order, the in-progress inspections were approved by a Building Division representative. The HRPB conditions of approval were adhered to the approved architectural plan set (**Attachment B**), printed on the permit card, and included in the HRPB Development Order, which was mailed to the applicants and attached to the architectural plan set. The completed renovation has not received a final inspection.

Muntin Profile

Raised profile triangular muntins applied to the exterior of the glazing are generally always required for window replacement projects within the City's historic districts. The applicants contend in their Part III application that because their original windows were awning windows with flat exterior framing, the raised triangular profiles would not be suitable, as they do not successfully replicate the design and profile of the original product. Staff agrees with the applicant's assessment that an exterior flat profile is a suitable alternative when replicating awning windows. Staff requests that the Board discuss the muntin profiles, and determine if the exterior flat profiles meet the intent of the Secretary of Interior Standards when replicating the design of an awning window.

PUBLIC COMMENT:

At the time of publication of the agenda, staff has not received written public comment.

CONCLUSION:

According to Lake Worth Beach Building Division records, the rehabilitation of the property was completed under building permit #19-2561 with a declared valuation of $251,955.00. The applicant submitted a Completed Work (Part III) application to the Department of Community Sustainability and provided photo documentation of the completed work.

Should the Board determine that the qualifying improvements were successfully completed in accordance with the pre-construction application and recommends approval for the completed work application, staff will forward the application to the Lake Worth Beach City Commission for final approval. Once the application has been approved by the City Commission, it will be forwarded to Palm Beach County for processing and approval by the County Board of Commissioners.

The HRPB made findings at the September 11, 2019 regular meeting that the property was eligible for the exemption and that the proposal was in keeping with the Secretary of Interior Standards for Rehabilitation and the requirements set forth in Sec. 23.5-5 of the Lake Worth Beach Land Development Regulations. Staff has reviewed the documentation and materials provided in this application and has performed a site visit to the property. It is staff's analysis that the work performed at the property generally follows the scope of work approved in the Pre-Construction Application and complies with the conditions of approval included in the Certificate of Appropriateness Development Order, with the exception of conditions one and two, which required clear glass or glass with a clear Low-E coating, and condition three, which requires raised triangular muntins.

Staff recommends the Board review the Completed Work Application and supporting attachments to determine if the project was completed in a manner consistent with the HRPB Development Order and the intent of the Secretary of Interior Standards. If the Board moves to certify the completed work, staff

recommends that the HRPB recommend approval of the Historic Preservation Ad Valorem Tax Exemption to the Lake Worth Beach City Commission. Alternatively, the HRPB may move to certify the majority of the Completed Work Application, but may exclude components not deemed to be consistent with the Development Order and the intent of the Secretary of Interior Standards.

POTENTIAL MOTION:

I MOVE TO **APPROVE** HRPB Project Number 19-00100107 for a Completed Work Application for a Historic Preservation Ad Valorem Tax Exemption for the property located at 1020 South Lakeside Drive, based upon the competent substantial evidence in the staff report and pursuant to the City of Lake Worth Beach Land Development Regulations and Historic Preservation requirements. Further, I MOVE TO **RECOMMEND** to the Lake Worth Beach City Commission this application and its approval.

I MOVE TO **DENY** HRPB Project Number 19-00100107 for a Completed Work Application for a Historic Preservation Ad Valorem Tax Exemption for the property located at 1020 South Lakeside Drive, because the Applicant has not established by competent substantial evidence that the application is compliant with the City of Lake Worth Beach Land Development Regulations and Historic Preservation requirements.

ATTACHMENTS

A. Property File Documentation
B. HRPB Development Order and Approved Architectural Plans
C. 2019 (Pre-Construction) Photos
D. Completed Work Application (Part III)
E. 2021 (Post-Construction) Photos

DEPARTMENT FOR COMMUNITY SUSTAINABILITY
Planning Zoning Historic Preservation Division
1900 2ND Avenue North
Lake Worth Beach, FL 33461
561-586-1687

ATTACHMENT A – PROPERTY FILE DOCUMENTATION

MEMORANDUM DATE: September 1, 2021

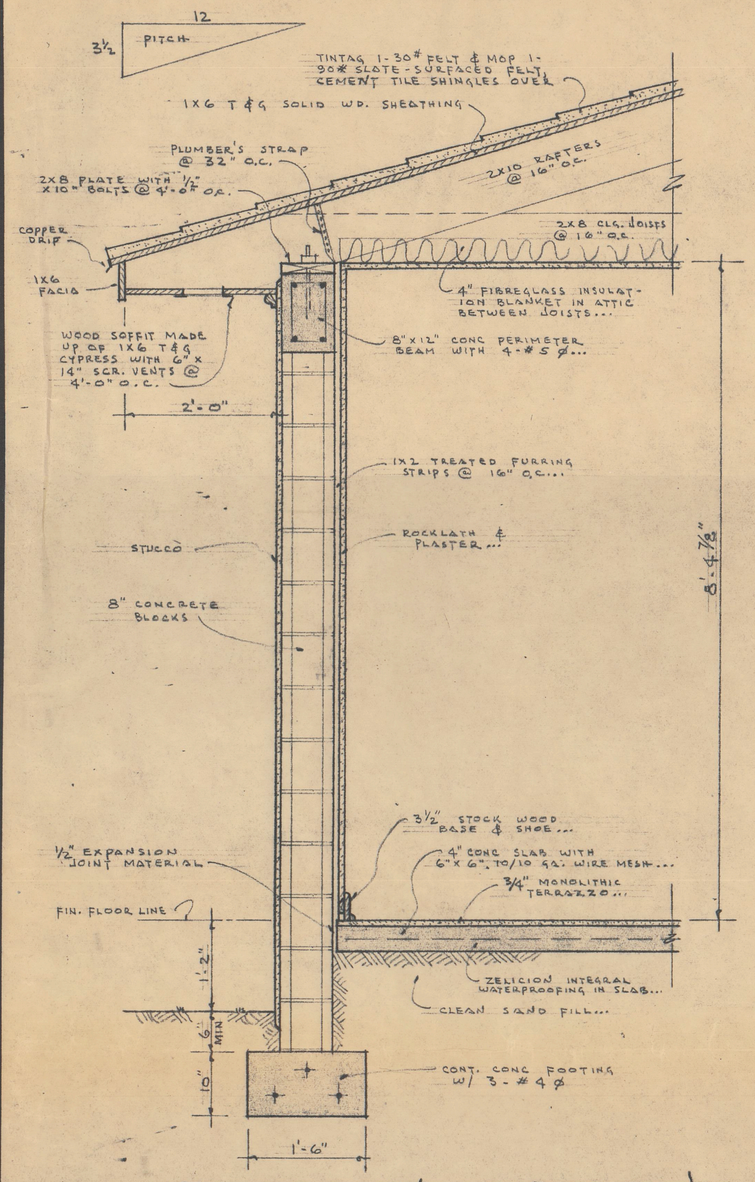
AGENDA DATE: September 8, 2021

TO: Chair and Members of the Historic Resources Preservation Board

RE: **1020 South Lakeside Drive**

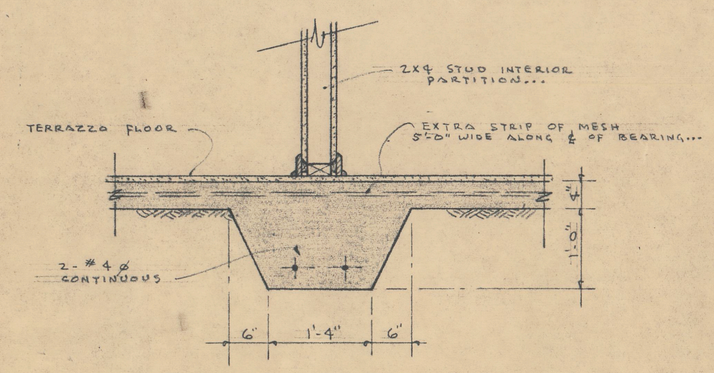
FROM: Jordan Hodges, Senior Preservation Coordinator
Abraham Fogel, Preservation Planner
Department for Community Sustainability

TITLE: **HRPB Project Number 19-00100107:** Consideration of a Completed Work Application (Part III) for a Historic Preservation Ad Valorem Tax Exemption and a recommendation to the City Commission for a Historic Preservation Ad Valorem Tax Exemption for the subject property located at **1020 South Lakeside Drive**; PCN#38-43-44-27-01-042-0010. The subject property is a contributing resource to the South Palm Park Local Historic District and is located within the Single-Family Residential (SF-R) zoning district.



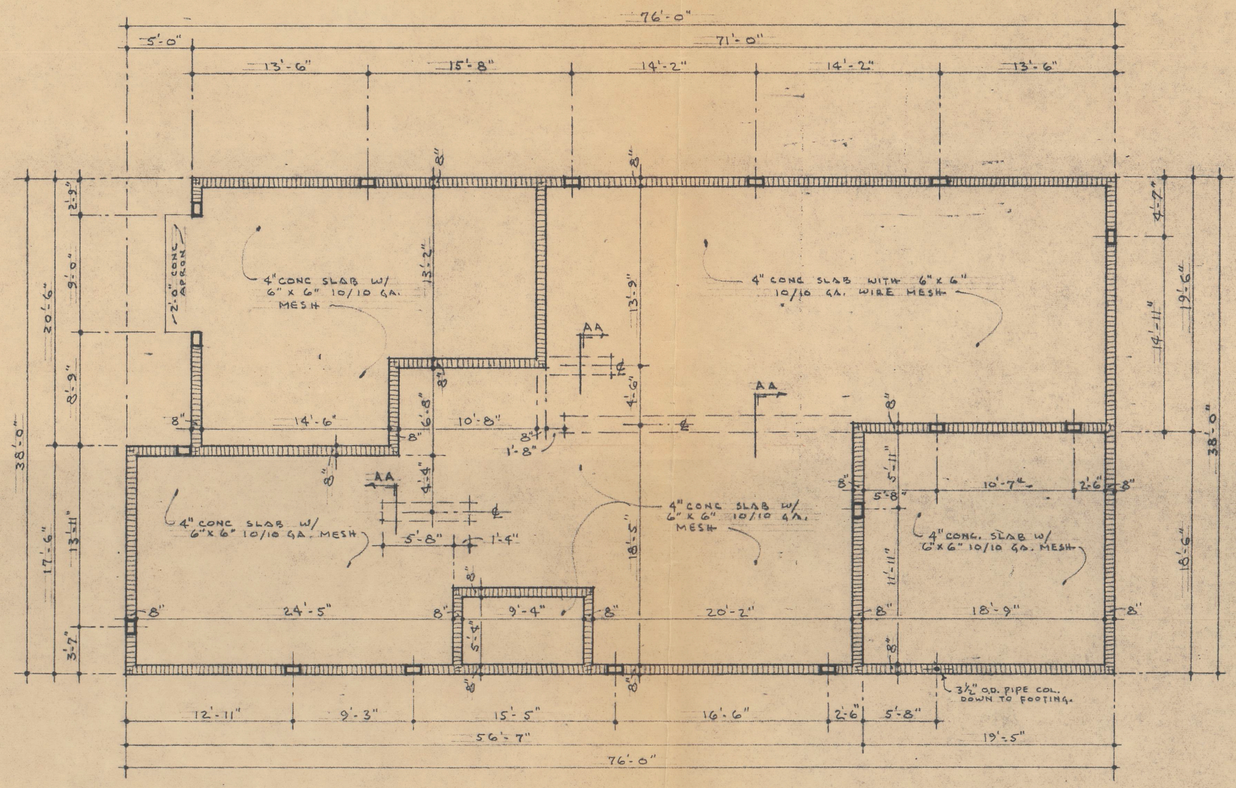
TYPICAL WALL SECTION

SCALE - 3/4" = 1'-0"



SECTION "A-A"

SCALE - 3/4" = 1'-0"

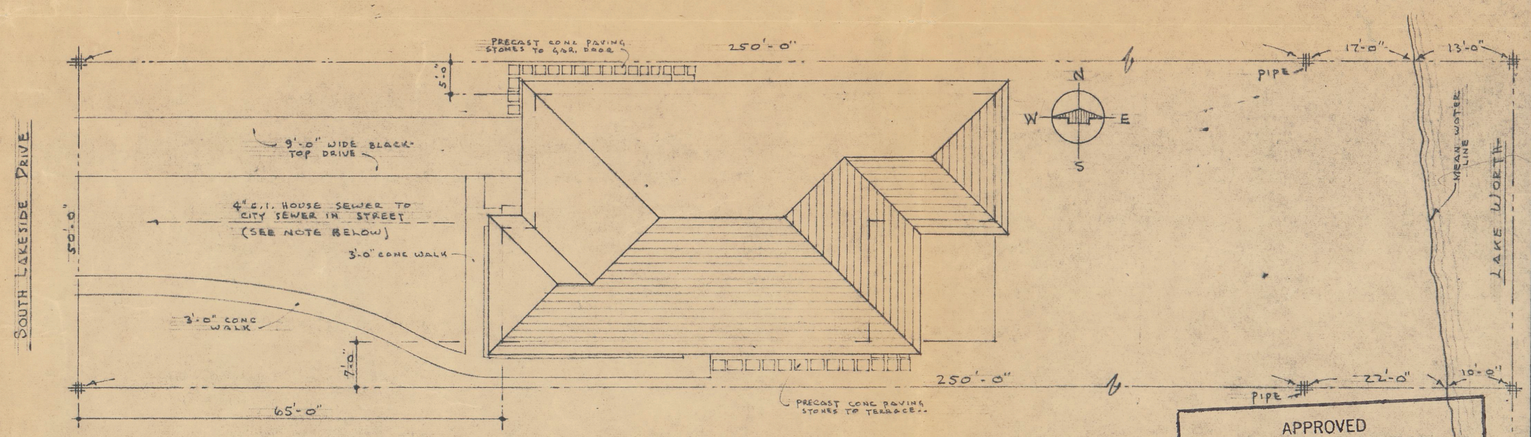


FOUNDATION PLAN

SCALE - 1/8" = 1'-0"

NOTE:

ALL WALL COLUMNS SHOWN ARE 8"X12" POURED CONCRETE W/ 4-#5 ø VERTICAL & ¼" ø HOOPS @ 12" O.C... PROVIDE 3'-4" LONG DOWELS @ EA. COL. EMBEDED 1'-8" INTO COL. & FOOTING... ALL CONC. TO HAVE DESIGN STRENGTH $f'_c = 2500$ #/□"...



ROOF & PLOT PLAN

SCALE - 1/16" = 1'-0"

NOTE: BECAUSE OF THE UNCERTAINTY OF THE MUNICIPAL SEWER AT THIS LOCATION, IT MAY BECOME NECESSARY TO INSTALL A SEPTIC TANK IN STEAD... THE CONTRACTOR IS THEREFORE DIRECTED TO CONSULT THE CITY ENGINEER FOR INSTRUCTIONS BEFORE INSTALLATION... SHOULD A SEWER CONNECTION BE IMPOSSIBLE, A CASH ALLOWANCE OF $ 200.00 WILL BE SET UP UNDER CONTRACT FOR A 700-GAL SEPTIC TANK WITH 40-LIN. FT. OF NOE DRAIN FIELD IN WEST YARD...

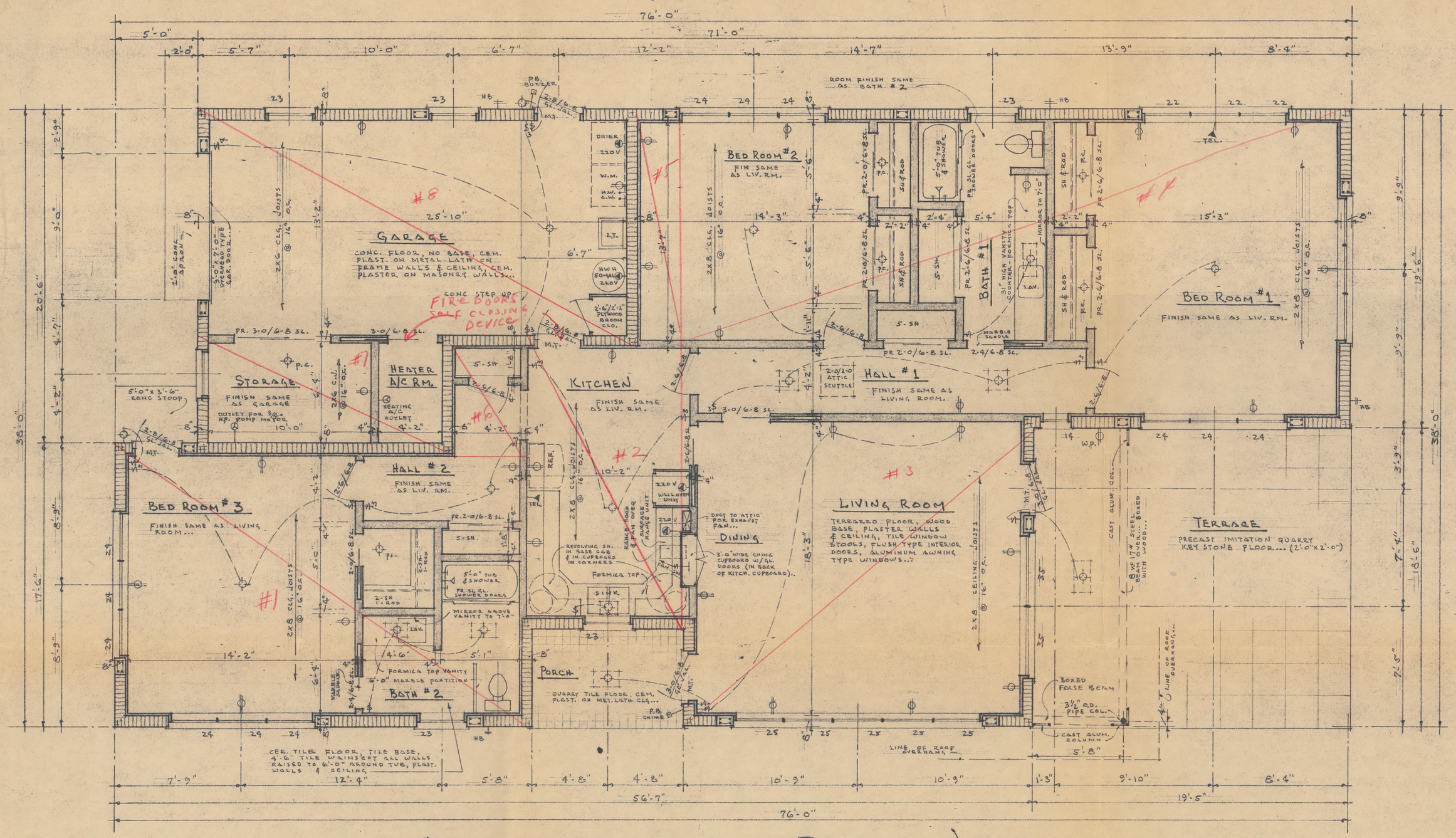
APPROVED
CITY OF LAKE WORTH
DATE 4/24/56
Edgar K. Gregory
BUILDING INSPECTOR
PHONE 3385 BEFORE POURING ANY CONCRETE

Contractor shall check and verify all dimensions at the building site, and report any discrepancies to the Architect immediately.

This document has been prepared by, or under the responsible supervision of
Wm Ames Bennett
Registered Architect

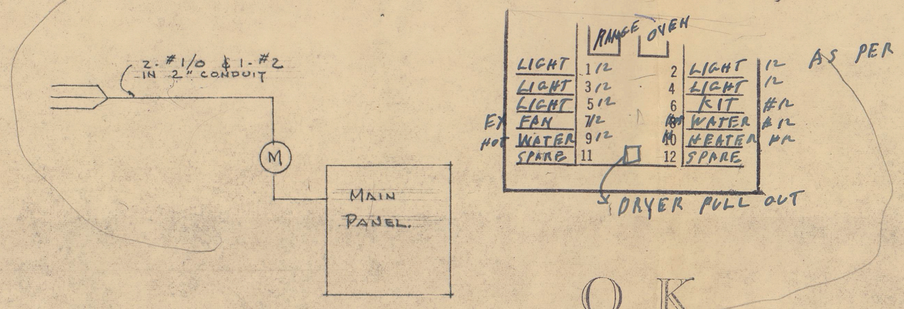
RESIDENCE
FOR
MR. & MRS. ROBERT C. SALTMARSH
LAKE WORTH, FLA.

DRAWN BY WMB	WM. AMES BENNETT, A. I. A. ARCHITECT	DATE MARCH 1956
CHECKED BY WMB		JOB No. 6-101
REVISED		DRAWING No. 1 OF 3



FLOOR PLAN

SCALE - 1/4" = 1'-0"



LIGHT	1	2	LIGHT	12
LIGHT	3	4	LIGHT	12
LIGHT	5	6	KIT	#12
EX FAN	7	8	WATER	#12
HOT WATER	9	10	HEATER	#12
SPARE	11	12	SPARE	

RANGE OVEN

AS PER SPECT'S.

DRYER PULL OUT

ELECTRIC SERVICE DIAGRAM

NOT TO SCALE

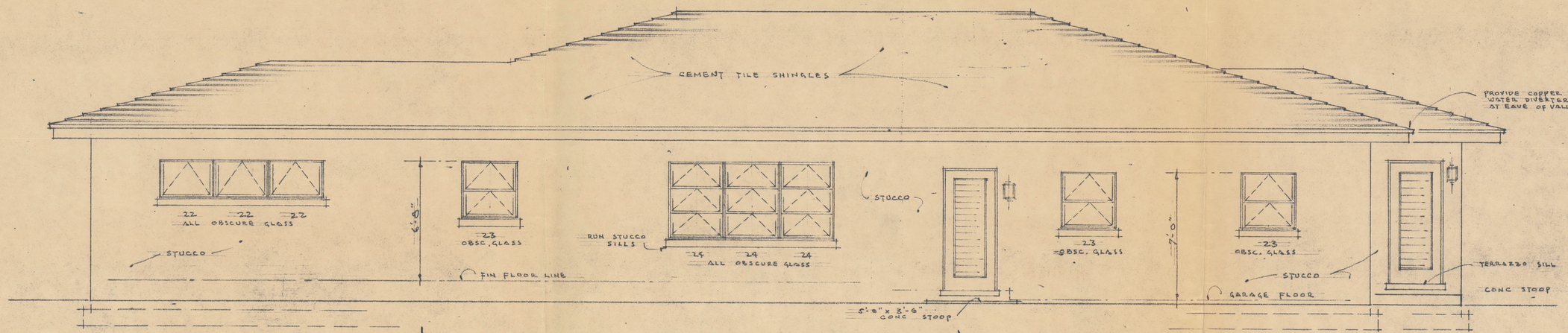
O. K.
ELECTRICAL INSPECTOR
Robert Simkins
4/24/56

Gross Areas
House: 1956
Garage: 469
Terrace: 361

Contractor shall check and verify all dimensions at the building site, and report any discrepancies to the Architect immediately.

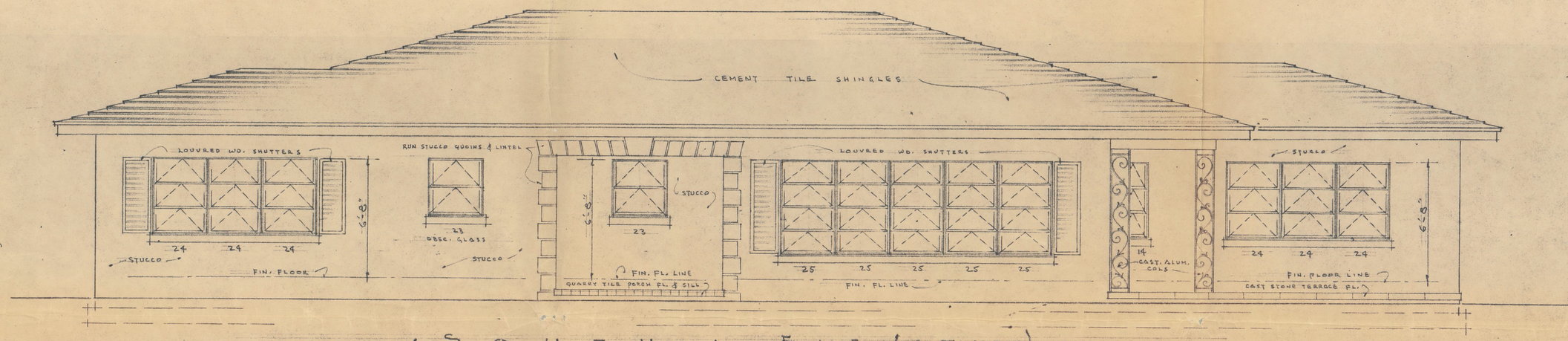
RESIDENCE
FOR
MR. & MRS. ROBERT C. SALTMARSH
LAKE WORTH, FLA.

DRAWN BY WWB	WM. AMES BENNETT, A. I. A. ARCHITECT	DATE MARCH 1956
CHECKED BY WWB		JOB No. 6-101
REVISED		DRAWING No. 2 of 3



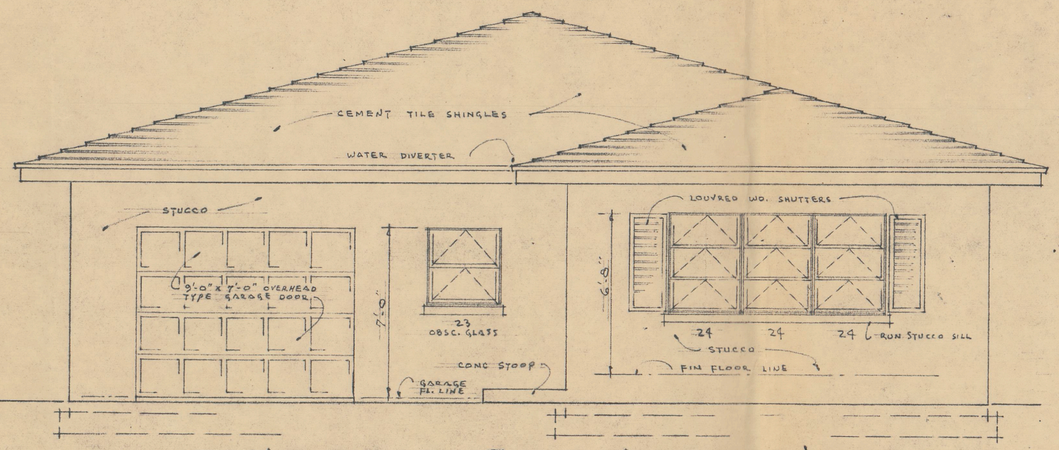
NORTH ELEVATION

SCALE - 1/4" = 1'-0"



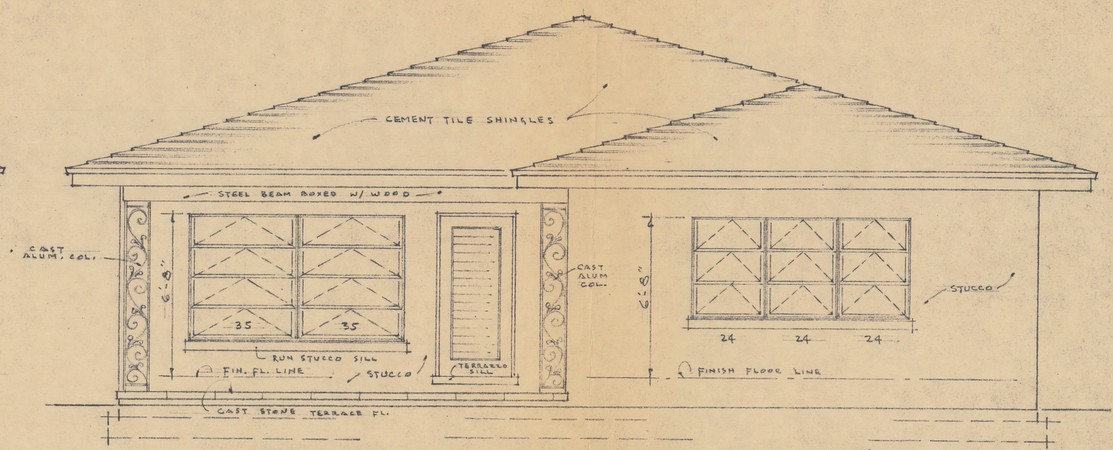
SOUTH ELEVATION

SCALE - 1/4" = 1'-0"



WEST ELEVATION

SCALE - 1/4" = 1'-0"

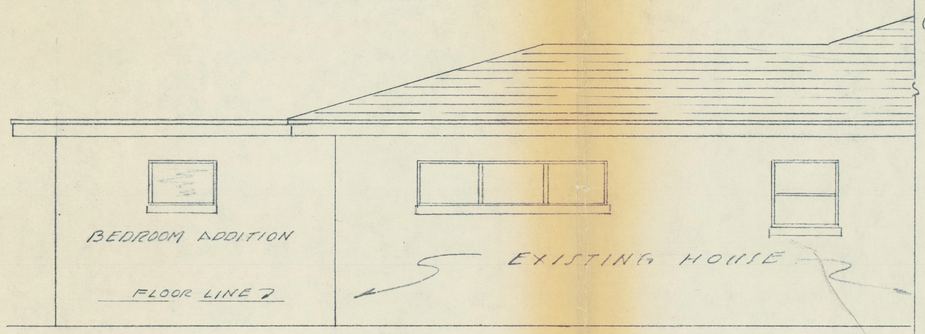


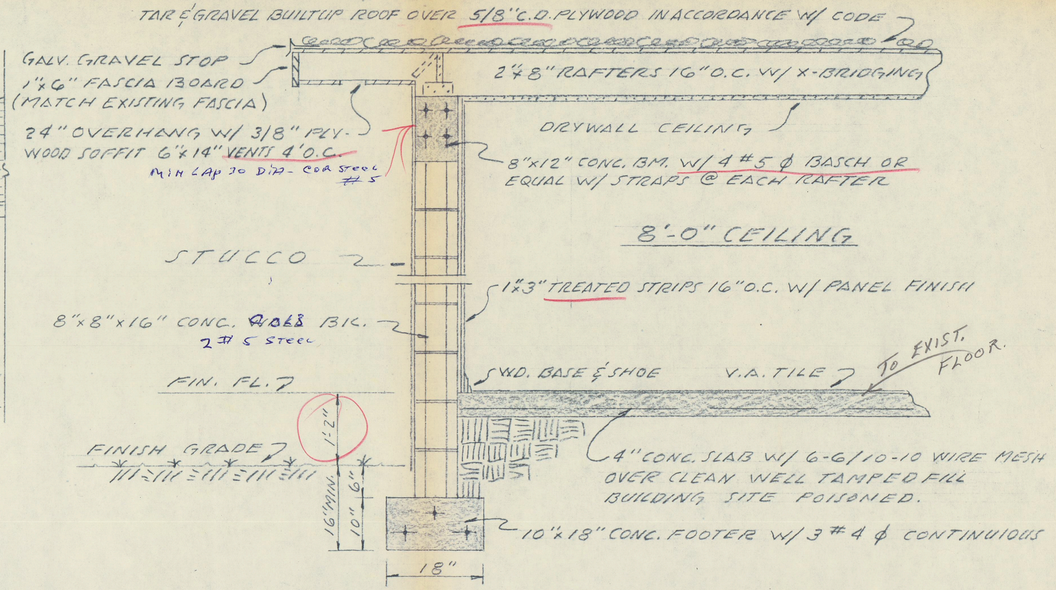
EAST ELEVATION

SCALE - 1/4" = 1'-0"

RESIDENCE
FOR
MR. & MRS. ROBERT C. SALTMARSH
LAKE WORTH, FLA.

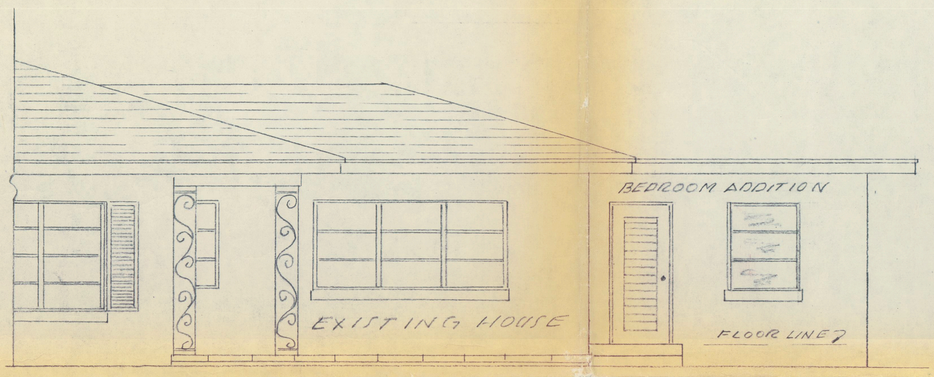
DRAWN BY WMB	WM. AMES BENNETT, A. I. A. ARCHITECT	DATE MARCH 1956
CHECKED BY WMB		JOB No. 6-101
REVISED		DRAWING No. 3 OF 3





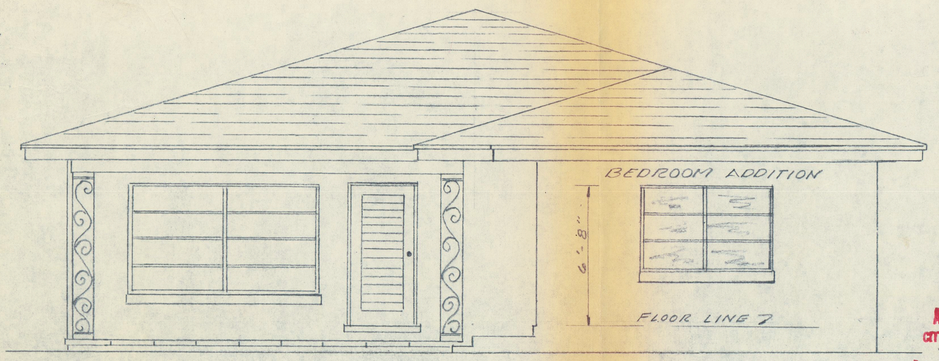
TYPICAL WALL SECTION

SCALE 3/4"=1'-0"



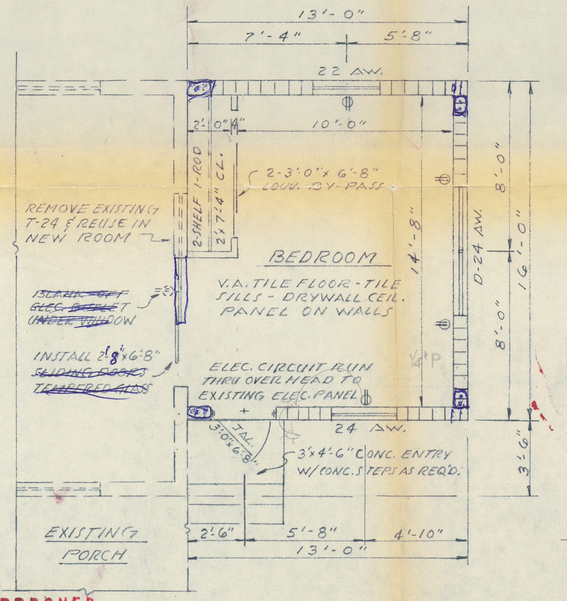
SOUTH ELEVATION

SCALE 1/4"=1'-0"



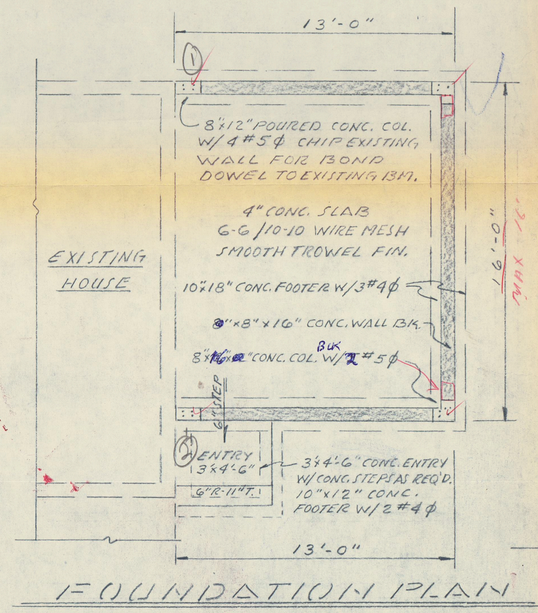
EAST ELEVATION

SCALE 1/4"=1'-0"



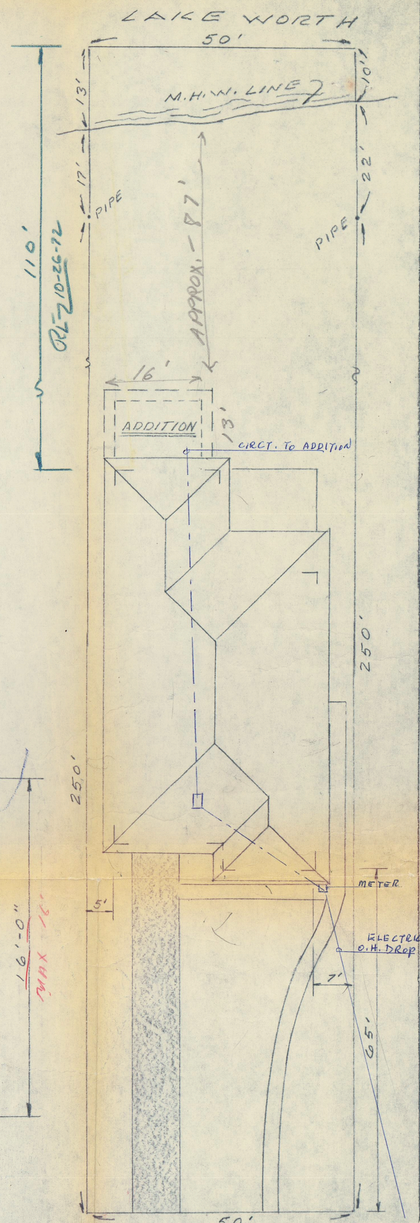
FLOOR PLAN

SCALE 1/4"=1'-0"



FOUNDATION PLAN

SCALE 1/4"=1'-0"



PLOT PLAN

SCALE = 1/16"=1'-0"

APPROVED
CITY OF LAKE WORTH
Date Nov 1 72
Building Inspector
Phone JU 5-2571, Ext. 35
Before pouring any Concrete.

LAKE WORTH BUILDING CODE HAS PRECEDENCE OVER THESE DRAWINGS AND SPECIFICATIONS

3 BEDROOM ADDITION
SALTMARSH RESIDENCE
1020 SOUTH LAKESIDE DRIVE LAKE WORTH, F

DATE: 2-22-72	DRAWN BY: Robert G. Jensen Jr.	SHEET 1

DEPARTMENT FOR COMMUNITY SUSTAINABILITY
Planning Zoning Historic Preservation Division
1900 2ND Avenue North
Lake Worth Beach, FL 33461
561-586-1687

ATTACHMENT B – HRPB DEVELOPMENT ORDER AND APPROVED PLANS

MEMORANDUM DATE: September 1, 2021

AGENDA DATE: September 8, 2021

TO: Chair and Members of the Historic Resources Preservation Board

RE: **1020 South Lakeside Drive**

FROM: Jordan Hodges, Senior Preservation Coordinator
Abraham Fogel, Preservation Planner
Department for Community Sustainability

TITLE: **HRPB Project Number 19-00100107:** Consideration of a Completed Work Application (Part III) for a Historic Preservation Ad Valorem Tax Exemption and a recommendation to the City Commission for a Historic Preservation Ad Valorem Tax Exemption for the subject property located at **1020 South Lakeside Drive**; PCN#38-43-44-27-01-042-0010. The subject property is a contributing resource to the South Palm Park Local Historic District and is located within the Single-Family Residential (SF-R) zoning district.

City of Lake Worth Beach FLORIDA

DEPARTMENT FOR COMMUNITY SUSTAINABILI
Planning Zoning Historic Preservation Divisi
1900 2ND Avenue No
Lake Worth Beach, FL 334
561-586-16

ORDER OF THE HISTORIC RESOURCES PRESERVATION BOARD OF THE CITY OF LAKE WORTH BEACH FLORIDA

PROJECT NAME:	1020 South Lakeside Drive HRPB 19-00100107
APPLICANT/OWNER:	Lewis Makepeace & Nathalie Makepeace
APPLICANT'S ADDRESS:	1020 South Lakeside Drive Lake Worth Beach, FL 33460
DATE OF HEARING:	September 11, 2019
TYPE OF REQUEST SOUGHT:	Consideration of a Certificate of Appropriateness (COA) for a Pre-Construction Application for a Historic Preservation Ad Valorem Tax Exemption, and a Certificate of Appropriateness for exterior alterations and a residential addition.
LOCATION OF PROPERTY:	1020 South Lakeside Drive
PCN:	38-43-44-27-01-042-0010

____X___ THIS MATTER came to be heard before the Historic Resources Preservation Board of the City of Lake Worth Beach, Florida, on the date of hearing stated above. The Board, having considered the Applicant's application, the materials submitted by the Applicant, the staff reports, and having heard testimony from the Applicant, members of city administrative staff and the public, finds as follows:

1. Application for the relief sought was made by the Applicant pursuant the requirements of the City's Land Development Regulations.

2. The Applicant
   _X_ HAS
   ___ HAS NOT

   established by substantial competent evidence a basis for granting the request.

3. The conditions for the COA supported by substantial competent evidence are as set forth in the CONDITIONS OF APPROVAL.

4. The Applicant's application for relief is hereby
   _X_ GRANTED subject to the conditions referenced in paragraph 3 hereof.
   ___ DENIED

5. This Order shall take effect as of the date of hearing, September 11, 2019.

6. All further development on the property shall be made in accordance with the terms and conditions of this order.

7. Other CONDITIONS OF APPROVAL

CHAIRPERSON ON BEHALF OF THE BOARD Wm Feldkamp.

BOARD SECRETARY Sherie C Coale

DATE: 9/18/19

Conditions of Approval – Certificate of Appropriateness
HRPB 19-00100107

1) All proposed exterior entry doors shall be aluminum impact full-view French and sliding doors, and shall utilize clear glass, frosted, obscure glass, or glass with a clear Low-E coating. Tinted, highly reflective, etched, or leaded glass shall not be used.
2) The proposed windows shall be aluminum impact single-hung, casement, horizontal sliding, and fixed windows with a bronze or clear-anodized silver-mill finish, and shall utilize clear glass, or glass with a clear Low-E coating. Tinted, grey, mirrored, or colored glass shall not be used.
3) All divided light patterns shall be created utilizing exterior raised applied triangular muntins. External flat muntins or "grills between the glass" shall not be permitted.
4) The windows and doors shall be replaced in their original openings, and the openings shall not be made smaller by building in the framing or made larger by expanding the opening, except for the openings on the south elevation (as indicated on the plans).
5) The windows shall be installed recessed a minimum of two inches (2") in the jambs, and shall not be installed flush with the exterior wall.
6) The replacement garage door shall be a flush panel style door.
7) The addition's stucco shall match the smooth stucco on the existing historic structure. The Applicant shall be responsible for contacting Staff for an on-site inspection prior to stucco completion.
8) The roofing material shall be a flat white concrete tile, as proposed.
9) The Site Data Table shall be revised (sheet A-1) at permitting to ensure consistency with the site plan measurements.

Conditions of Approval – Ad Valorem Tax Exemption
HRPB 19-00100107

1) All work shall be conducted per the submitted and approved COA for exterior alterations, including the recommend conditions of approval. Any revisions or changes to this approval shall be reported to Staff and may require additional Staff or HRPB approvals.
2) All work shall be conducted in accordance with the Secretary of the Interior's Standards.
3) The applicant shall be responsible for fully documenting the rehabilitation process so that the Board will have sufficient documentation to evaluate the completed work to make a recommendation on the tax exemption application to City Commission.

ABBREVIATIONS

A.F.F.	ABOVE FINISHED FLOOR
ALUM.	ALUMINUM
ANOD.	ANODIZED
BD.	BOARD
B.O.B.	BOTTOM OF BEAM
CAB.	CABINET
CLG.	CEILING
CLO.	CLOSET
CLR.	CLEAR
CMU.	CONCRETE MASONRY UNIT
COL.	COLUMN
CONC.	CONCRETE
CONT.	CONTINUOUS
CT.	CERAMIC TILE
DBL.	DOUBLE
DN.	DOWN
DR.	DOOR
DTL.	DETAIL
DWG.	DRAWING
DWR.	DRAWER
EA.	EACH
EL.	ELEVATION
ELEC.	ELECTRICAL
ELEV.	ELEVATION
EQ.	EQUAL
EQUIP.	EQUIPMENT
EXIST.	EXISTING
EXT.	EXTERIOR
FD.	FLOOR DRAIN
FE.	FIRE EXTINGUISHER
FIN.	FINISH
FLR.	FLOOR
F.V.	FIELD VERIFY
GA.	GAGE
GALV.	GALVANIZED
GC.	BUILDER
GL.	GLASS
GYP. BD.	GYPSUM BOARD
G.W.B.	GYPSUM WALL BOARD
I.M.	ICE MAKER
INT.	INTERIOR
HC.	HANDICAP ACCESSIBLE
H.C.	HOLLOW CORE
H.M.	HOLLOW METAL
HT.	HEIGHT
LAV.	LAVATORY
LOC.	LOCATION
MANUF.	MANUFACTURED
MAX.	MAXIMUM
MECH.	MECHANICAL
MIN.	MINIMUM
MISC.	MISCELLANEOUS
MLD.	MOLDING
M.O.	MASONRY OPENING
M.T.	METAL THRESHOLD
MTD.	MOUNTED
MTL.	METAL
MUL.	MULLION
NIC.	NOT IN CONTRACT
N.I.S.	NOT IS SET
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
OPNG.	OPENING
OPT.	OPTIONAL
PL.	PLATE
PLYWD.	PLYWOOD
PNL.	PANEL
P.O.S.	POINT OF SALE
PR.	PAIR
PREP.	PREPARATION
PTD.	PAINTED
RA R/A	RETURN AIR
RAD.	RADIUS
REF.	REFERENCE
RECEPT.	RECEPTACLE
REINF.	REINFORCED (ING)
REQ'D.	REQUIRED
RM.	ROOM
R.O.	ROUGH OPENING
S.C.	SOLID CORE
SCHED.	SCHEDULE
SIM.	SIMILAR
STD.	STANDARD
STL.	STEEL
STRUCT.	STRUCTURAL
SUSP.	SUSPENDED
T.B.D.	TO BE DETERMINED
TEMP.	TEMPERED
TYP.	TYPICAL
U.N.O.	UNLESS NOTED OTHERWISE
U.O.N.	UNLESS OTHERWISE NOTED
VCT.	VINYL COMPOSITION TILE
VERT.	VERTICAL
VLOJ.	VERIFY LOCATION ON JOB
V/TO	VENT TO OUTSIDE
W/	WITH
W/O	WITHOUT
W.C.	WATER CLOSET
WD.	WOOD
W.H.	WATER HEATER
WIN.	WINDOW
WSCT.	WAINSCOT
WT.	WEIGHT
WWF.	WELDED WIRE FABRIC

GENERAL NOTES

1. CONSTRUCTION SHALL FOLLOW THE 2017 FLORIDA BUILDING CODE 6TH EDITION,AS ADOPTED BY THE GOVERNING BUILDING DEPARTMENT(S) INCLUDING ALL APPLICABLE AMENDMENTS.
2. ALL PLAN VIEW VERTICAL ELEVATION DATUM FOLLOWED BY "A.F.F." IS REFERENCED FROM THE FINISHED FLOOR ELEVATION IN WHICH THE HEIGHT WAS TAKEN FROM. ALL ELEVATION VIEW VERTICAL DATUM FOLLOWED BY "A.F.F." SHALL BE REFERENCED FROM THE 0'-0" FLOOR ELEVATION. IF NOT FOLLOWED BY "A.F.F.", THEN THE VERTICAL ELEVATION IS REFERENCED FROM THE LEVEL IN WHICH THE OBJECT IS PROPOSED TO BE.
3. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ROUGH OPENINGS PRIOR TO CONSTRUCTION. USE FIGURED DIMENSIONS ONLY. DO NOT SCALE DRAWINGS.
4. CONTRACTOR SHALL PROVIDE DRAINAGE AS PER LOCAL DESIGN GUIDELINES
5. THE BUILDER/SUB-CONTRACTOR SHALL REQUEST DETAILS FROM THE MANUFACTURER/DESIGNER WHENEVER UNCERTAIN ABOUT METHODS OF INSTALLATION OF STRUCTURAL/COSMETIC DETAILS REQUIRED TO BUILD THE PROPOSED CONSTRUCTION DOCUMENTS. LACK OF DETAILS NOT REQUESTED FROM THE MANUFACTURER/DESIGNER AND RESULTING IN THE IMPROPER INSTALLATION OF THE PROPOSED ELEMENT SHALL BE THE RESPONSIBILITY OF THE BUILDER TO CORRECT THE MISTAKE AT NO ADDITIONAL CHANGE TO THE OWNER.
6. ALL SECTIONS, DETAILS, AND NOTES SHOWN ON THESE DRAWINGS ARE INTENDED TO TYPICAL AND SHALL APPLY TO SIMILAR SITUATIONS UNLESS OTHERWISE NOTED.
7. ALL WORK SHALL BE ALIGNED AND POSITIONED IN ACCORDANCE WITH PLAN DIMENSIONS WITH ALL SCALE DIMENSIONS BEING VERIFIED PRIOR TO USE.
8. BUILDER SHALL REPORT ALL IRREGULARITIES AND DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH WORK.
9. BUILDER SHALL COORDINATE ALL THE WORK OF ALL THE TRADES WHICH SHOULD BE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, STANDARDS, OR RESTRICTIONS, WHETHER INDICATED ON PLANS OR NOT.
10. THE BUILDER SHALL PROVIDE PROOF OF LIABILITY INSURANCE AND VERIFY APPROVAL WITH OWNER.
11. THESE PLANS, AS SHOWN AND NOTED, COMPLY WITH THE BUILDING ENVELOPE ENERGY REQUIREMENTS OF THE FLORIDA MODEL ENERGY CODE. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE GOVERNING ENERGY CODE AND BUILD IN ACCORDANCE WITH ALL PROVISIONS OF THE CODE WHICH MAY NOT BE SPECIFICALLY ADDRESSED ON THE PLANS AND NOTES.
12. THE BUILDER RESERVES THE RIGHT TO SUBSTITUTE ITEMS WHICH THEY BELIEVE TO BE EQUAL OR BETTER THAN ITEMS SPECIFIED ON THESE DRAWINGS OR SPECS WITH APPROVAL FROM THE OWNER. ITEMS WHICH, WHEN SUBSTITUTED, REQUIRE APPROVAL OF THE BUILDING OFFICIAL, WILL BE SUBMITTED TO THE BUILDING DEPARTMENT.
13. ALL SPECIFICATIONS SHALL BE APPROVED BY THE OWNER(S) AND PREPARED BY OTHERS. SPECIFICATIONS ARE NOT INCLUDED IN THESE DOCUMENTS UNLESS NOTED OTHERWISE.
14. THE BUILDER SHALL BE TOTALLY RESPONSIBLE FOR ALL MEANS, COORDINATION AND METHODS OF CONSTRUCTION WITH ALL TRADES. THEREFORE THE DESIGNER WILL NOT BE PROVIDING ARCHITECTURAL OR CONSTRUCTION INSPECTION SERVICES. THE OWNER AND BUILDER SHALL BE RESPONSIBLE FOR THE QUALITY OF WORKMANSHIP AND FINAL MATERIAL SELECTION. SELECTION OF ALL FINISHES, FIXTURES, HARDWARE, TRIM, ETC. SHALL BE COORDINATED BY THE OWNER AND BUILDER. A CONSULTANT CAN BE HIRED FOR THE ABOVE MENTIONED SERVICES AS AN EXTRA FEE OVER ANY BEYOND WHAT WAS ORIGINALLY AGREED TO PRODUCE THESE PLANS.
15. BUILDER IS RESPONSIBLE FOR ADEQUATE BRACING, BRIDGING, AND SHORING OF STRUCTURAL AND NON-STRUCTURAL MEMBERS DURING CONSTRUCTION.
16. ALL BLOCKING, NAILERS, FLASHING OR OTHER REQUIRED FRAMING, FINISHING AND WEATHER PROOFING MATERIALS NOT SPECIFIED ON PLANS SHALL BE INSTALLED WHERE APPLICABLE.
17. ALL GLAZING/GLASS BLOCK SHALL BE INSTALLED TO WITHSTAND 170 MPH ULTIMATE WIND SPEED AND 132 MPH NOMINAL WIND SPEED PER APPLICABLE CODES.
18. ALL GLAZING AND GLASS BLOCK SHALL BE SHUTTERED. SHUTTERS SHALL BE CUSTOM FIT TO EVERY WINDOW OR DOOR TO SIMILARLY MATCH STYLE OF OPENING. OMIT SHUTERS AT ALL LOCATIONS TO RECEIVE IMPACT GLAZING.
19. ALL EXTERIOR DOORS AND WINDOWS SHALL COMPLY WITH THE LOCAL GOVERNING BUILDING SECURITY CODE ORDINANCE AS LAST AMENDED.
20. ALL DIMENSIONS, WINDOW AND DOOR OPENINGS ARE NOMINAL. DIMENSIONS SHALL BE VERIFIED WITH SUPPLIER
21. ALL WINDOWS AND DOORS SHALL BE CAULKED AND WEATHER STRIPPED. WINDOW UNITS SHALL DISPLAY LABELS SHOWING COMPLIANCE WITH THE FLORIDA STATE ENERGY CODE SECTION 502.4. AND SHOWING THE MAXIMUM POSITIVE AND NEGATIVE WIND PRESSURE ALLOWED PER UNIT.
22. ALL WINDOWS AND GLASS ENCLOSURES WITH SILLS LESS THAN 60" ABOVE FLOOR AT TUBS AND SHOWERS SHALL BE TEMPERED.
23. SUBMIT MINIMUM THREE (3) COPIES OF SHOP DRAWINGS AS REQUIRED BELOW.
24. SUBMIT SHOP DRAWINGS AND MEASURE FOR ALL RAILINGS AND PRE-MANUFACTURED STAIRS, ALONG WITH CUT SHEETS FROM THE SUPPLIER SHOWING CODE COMPLIANCE. COORDINATION OF ALL WORK SHALL BE THE BUILDERS RESPONSIBILITY, AND ALL SUBCONTRACTORS SHALL REVIEW ANY PLANS WHICH COULD AFFECT THE INSTALLATION OF THEIR WORK.
25. CABINET SUPPLIER TO PROVIDE OWNER APPROVED SHOP DRAWINGS TO THE BUILDER.
26. WINDOW AND DOOR SUPPLIER TO PROVIDE SHOP DRAWINGS TO THE BUILDER.
27. TRUSS/FLOOR MANUFACTURER SHALL SUBMIT FOUR (4) COPIES OF SHOP DRAWINGS AND ENGINEERED CALCULATIONS TO THE BUILDER, SIGNED AND SEALED BY A FLORIDA REGISTERED ENGINEER.
28. TRUSSES AND FLOORS SHALL BE DESIGNED TO CARRY LOADS OF ATTIC AHUS AND MISC. EQUIPMENT. COORDINATE LOCATIONS WITH BUILDER PRIOR TO FABRICATION AND INDICATE ON THE SHOP DRAWINGS.
29. THE BUILDER SHALL PROVIDE ALL NECESSARY BACKING FOR EQUIPMENT OR CABINETRY.
30. ALL STUCCO, METAL LATH, AND DRYWALL WORK SHALL MAINTAIN THE STANDARDS AS OUTLINED IN THE U.S. GYPSUM CONSTRUCTION HANDBOOK; ESPECIALLY IN REGARDS TO ACCESSORY PRODUCTS, SUCH AS BUT NOT LIMITED TO: CONTROL AND EXPANSION JOINTS.
31. ALL GYPSUM BOARD WALLS AND CEILINGS SHALL BE TRUE AND LEVEL WITH NO VISIBLE SEAMS OR IMPERFECTIONS. FURR OUT AS REQUIRED AND CONSTRUCT RATED WALLS AS SHOWN ON DWGS.
32. PROVIDE "WONDER BOARD" CONCRETE BOARD AT ALL WET AREAS OR APPROVED EQUAL.
33. ALL STRUCTURAL NOTES ON THE STRUCTURAL SHEETS SHALL SUPERSEDE ARCHITECTURAL GENERAL NOTES WHENEVER THEY ARE IN CONFLICT WITH EACH OTHER.
34. ALL WOOD IN CONTACT WITH MASONRY, CONCRETE, OR STEEL SHALL BE AN APPROVED PRESSURE TREATED WOOD (BORATE), OR PROVIDE AN APPROVED MOISTURE VAPOR BARRIER BETWEEN THE CEMENTITIOUS MATERIAL AND THE WOOD AS REQUIRED PER APPLICABLE CODE.
35. CLEANOUT OPENINGS SHALL BE PROVIDED AT THE BOTTOM OF GROUTED CELLS AT EACH LIFT OVER 4'-0" HIGH. CLEANOUTS SHALL BE SEALED BEFORE GROUTING, AFTER CLEANING AND INSPECTION.
36. HEADERS FOR FRAMED OPENING GREATER THAN 6'-0" MUST BE ENGINEERED AND STAMPED BY THE TRUSS MANUFACTURER UNLESS NOTED OTHERWISE.
37. TOPICAL CURING REQUIRED FOR ALL SLABS AND FLATWORK SHALL BE COORDINATED WITH OWNER.
38. PROVIDE ADDRESS NUMBERS &/OR LETTERS TO THE STRUCTURE. IF ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER APPROVED SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE.
39. VERIFY LOCATION OF U.S. POSTAL MAIL SERVICE AND PROVIDE AN APPROVED MAILBOX IF REQUIRED.

LOT/F.A.R. CALCULATIONS

AREA OF LOT:	12,500 S.F.
TOTAL FRONT YARD PERVIOUS SPACE:	2,325 S.F.
BUILDING COVERAGE:	3,453 S.F.
% OF BLDG. COV. TO TOTAL LOT:	27.6 %

IMPERVIOUS AREA

BUILDING COVERAGE	3,453 S.F.
DRIVEWAY & WALKWAYS	1,340 S.F.
EQUIPMENT PADS	22 S.F.
POOL DECK (BY OTHERS)	555 S.F.
OVERALL TOTAL IMPERVIOUS AREA	5,370 S.F.
% OF IMPERVIOUS AREA (F.A.R.):	43.0 %

Pursuant to L.D.R. Section 23.1.12 -
Any pool which is constructed, used or maintained to provide recreational facilities for swimming, bathing or wading and which is capable of containing water to a depth greater than eighteen (18) inches and all buildings, equipment, and appurtenances thereto and shall not be included in the calculation of impervious area for the purposes of maximum lot coverage.

SITE PLAN NOTE

THIS SITE PLAN IS FOR ARCHITECTURAL PURPOSE ONLY. CONTRACTOR TO COORDINATE ANY CIVIL WORK NEEDED OUTSIDE THE HOUSE FOOT PRINT.

AREA CALCS (PROPOSED)

EXISTING A/C AREA	2,107 S.F.
PROPOSED A/C AREA	760 S.F.
TOTAL EXISTING & PROPOSED A/C AREA	2,867 S.F.
EXISTING COVERED ENTRY	59 S.F.
REMODELED 1 CAR GARAGE	379 S.F.
PROPOSED COVERED PATIO	148 S.F.
TOTAL EXISTING & NEW AREA UNDER ROOF	3,453 S.F.

AREA CALCS (EXISTING)

EXISTING A/C AREA	2,107 S.F.
EXISTING COVERED ENTRY	59 S.F.
EXISTING 1 CAR GARAGE	468 S.F.
EXISTING COVERED PATIO	111 S.F.
TOTAL EXISTING AREA UNDER ROOF	2,745 S.F.

INDEX TO DRAWINGS

ARCHITECTURAL

A-1	ARCHITECTURAL SITE PLAN
A-2	EXISTING FLOOR PLAN
A-2.1	DEMOLITION FLOOR PLAN
A-3	PROPOSED GROUND FLOOR PLAN
A-4	EXISTING & PROPOSED EXTERIOR ELEVATIONS
A-4.1	EXISTING & PROPOSED EXTERIOR ELEVATIONS
A-5	PROPOSED ELECTRICAL PLAN
A-6	TYP WALL SECTION, PLUMB RISER, & ROOF DETAILS

STRUCTURAL

S-1	FOUNDATION PLAN
S-2	ROOF FRAMING PLAN
SD-1	STRUCTURAL DETAILS
SD-2	STRUCTURAL DETAILS

CLASSIFICATION OF WORK

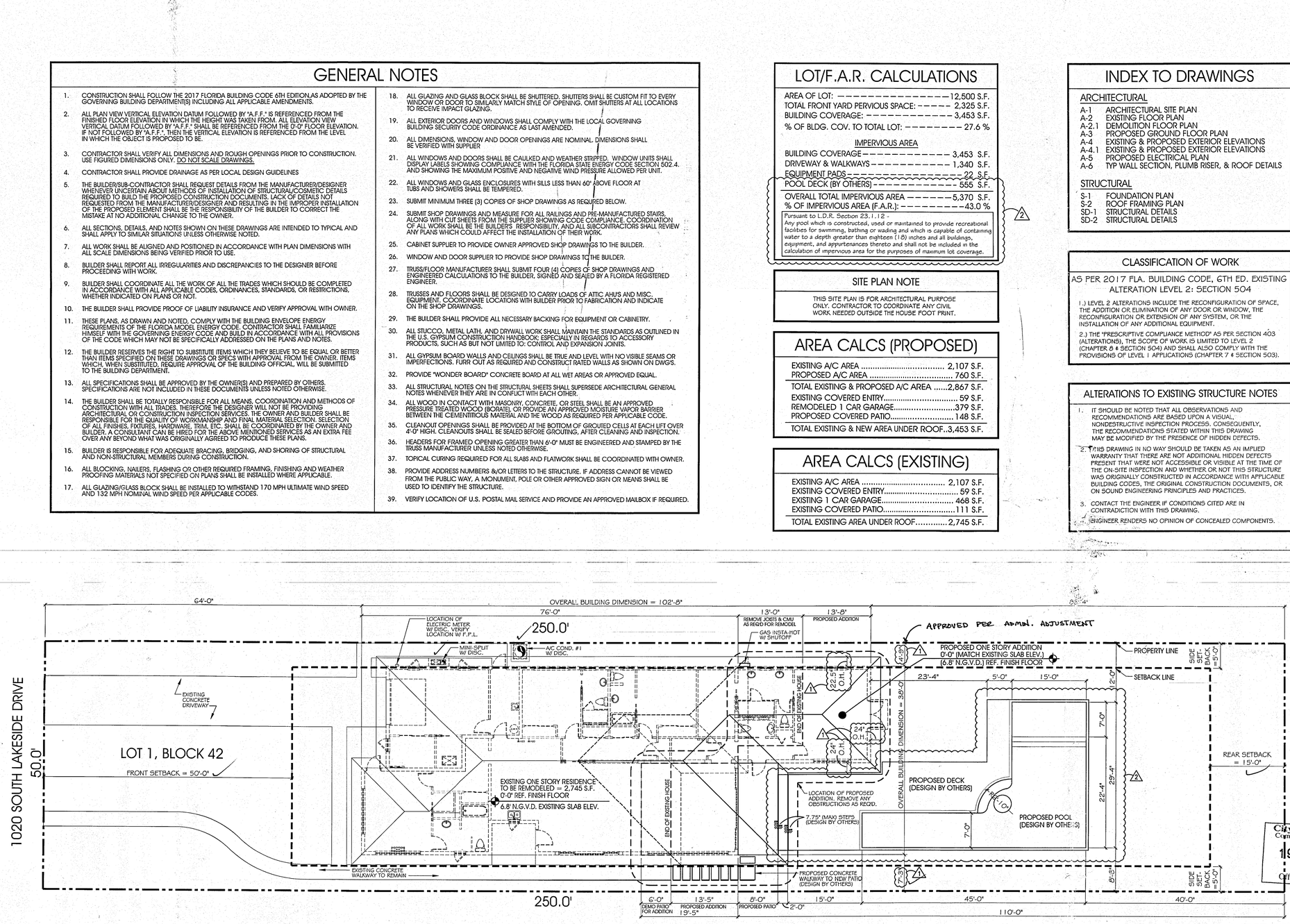
AS PER 2017 FLA. BUILDING CODE, 6TH ED. EXISTING ALTERATION LEVEL 2: SECTION 504

1.) LEVEL 2 ALTERATIONS INCLUDE THE RECONFIGURATION OF SPACE, THE ADDITION OR ELIMINATION OF ANY DOOR OR WINDOW, THE RECONFIGURATION OR EXTENSION OF ANY SYSTEM, OR THE INSTALLATION OF ANY ADDITIONAL EQUIPMENT.

2.) THE "PRESCRIPTIVE COMPLIANCE METHOD" AS PER SECTION 403 (ALTERATIONS), THE SCOPE OF WORK IS LIMITED TO LEVEL 2 (CHAPTER 8 & SECTION 504) AND SHALL ALSO COMPLY WITH THE PROVISIONS OF LEVEL 1 APPLICATIONS (CHAPTER 7 & SECTION 503).

ALTERATIONS TO EXISTING STRUCTURE NOTES

1. IT SHOULD BE NOTED THAT ALL OBSERVATIONS AND RECOMMENDATIONS ARE BASED UPON A VISUAL, NONDESTRUCTIVE INSPECTION PROCESS. CONSEQUENTLY, THE RECOMMENDATIONS STATED WITHIN THIS DRAWING MAY BE MODIFIED BY THE PRESENCE OF HIDDEN DEFECTS.
2. THIS DRAWING IN NO WAY SHOULD BE TAKEN AS AN IMPLIED WARRANTY THAT THERE ARE NOT ADDITIONAL HIDDEN DEFECTS PRESENT THAT WERE NOT ACCESSIBLE OR VISIBLE AT THE TIME OF THE ON-SITE INSPECTION AND WHETHER OR NOT THIS STRUCTURE WAS ORIGINALLY CONSTRUCTED IN ACCORDANCE WITH APPLICABLE BUILDING CODES, THE ORIGINAL CONSTRUCTION DOCUMENTS, OR ON SOUND ENGINEERING PRINCIPLES AND PRACTICES.
3. CONTACT THE ENGINEER IF CONDITIONS CITED ARE IN CONTRADICTION WITH THIS DRAWING.
4. ENGINEER RENDERS NO OPINION OF CONCEALED COMPONENTS.



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SUBJECT TO COMPLIANCE WITH ALL CODES AND ORDINANCES IN EFFECT IN THE CITY OF LAKE WORTH

NORTH

PROPOSED ARCHITECTURAL SITE PLAN

SCALE : 1" = 10'-0"

HISTORIC PRESERVATION DIVISION
Approval of this building permit is based upon the Certificate of Appropriateness approval letter COA# #19-00100107 Dated 9/11/19 and only approves alterations consistent with that letter.
No additional alterations permitted without approval.
PZHP Date 10/25/19

CITY OF LAKE WORTH
Reviewed for Code Compliance
Division Approved By Date
Zoning 10/25/19
Historic

COA # 19-00100107 (TAX EXEMPTION / ADDITION / EXTERIOR ALTERATIONS)
ADMIN. ADJUST. # 19-02000005 (SIDE SETBACK)
VARIANCE # 19-01500007 (BASE FLOOD ELEVATION)
* SEE ATTACHED DEVELOPMENT APPROVALS

ALL ELECTRICAL WORK TO COMPLY WITH UTILITY DEPT. AND NEC CODES AND ARE SUBJECT TO ELECTRICAL INSPECTOR APPROVAL

REVIEWED TO THE BEST OF MY KNOWLEDGE AND BELIEF FOR FLORIDA BUILDING CODES COMPLIANCE. ISSUANCE OF THIS PERMIT SHALL NOT CONSTITUTE PERMISSION TO VIOLATE BUILDING, ZONING OR LICENSING REQUIREMENTS.
REVIEWED BY: PETER RINGLE
PX 3086 BU 1615 SFP 219
DATE 12-12-19

REVISION DATE	
NO	DETAIL
1	BLDG LOC. & O.H. CHANGE - 8/15/2019
2	POOL & DECK CHANGE -10/15/2019

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UNIVERSAL ENGINEERING, INC.

SEAL:
ALAA ALI, Ph.D., P.E.
CONSULTING ENGINEER
FL. P.E. # 53318
10/18/19

ALTERATIONS AND ADDITION FOR:
MAKEPEACE RESIDENCE
1020 SOUTH LAKESIDE DRIVE
LAKE WORTH, FL - PCN: 38434427010420010

DRAWN BY	DMW
EDIT DATE	10/15/19
ISSUE DATE	08/06/19
SCALE	AS NOTED
SHEET NUMBER	A-1
	12 SHEETS TOTAL

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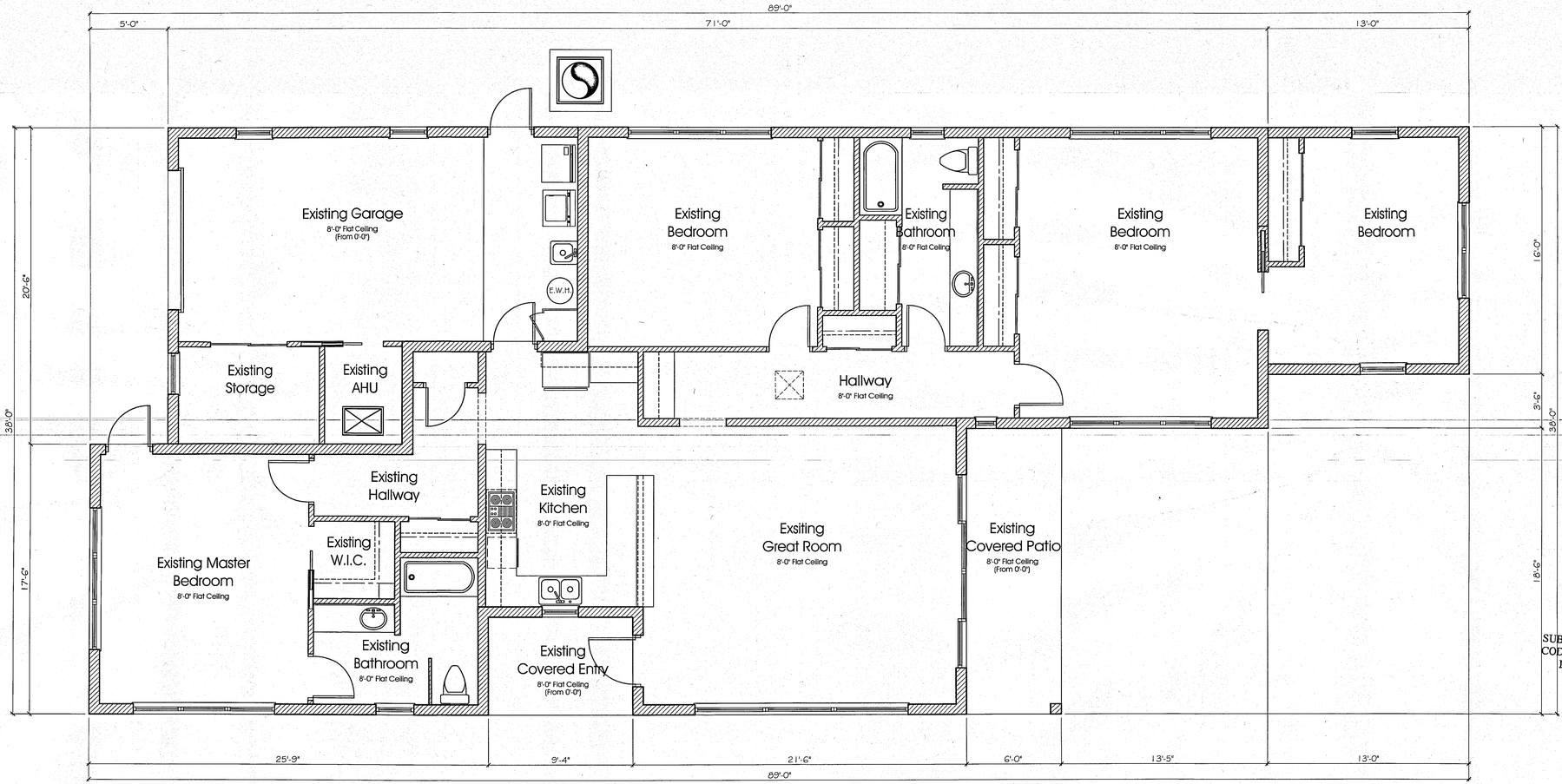

EXISTING FLOOR PLAN

SCALE : 1/4" = 1'-0"

NORTH

AREA CALCS (EXISTING)	
EXISTING A/C AREA	2,107 S.F.
EXISTING COVERED ENTRY	59 S.F.
EXISTING 1 CAR GARAGE	468 S.F.
EXISTING COVERED PATIO	111 S.F.
TOTAL EXISTING AREA UNDER ROOF	2,745 S.F.

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City of Lake Worth
Community Sustainability
19--2561
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REVISION DATE	
NO	DETAIL

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LAKE WORTH, FL - PCN: 38434427010420010

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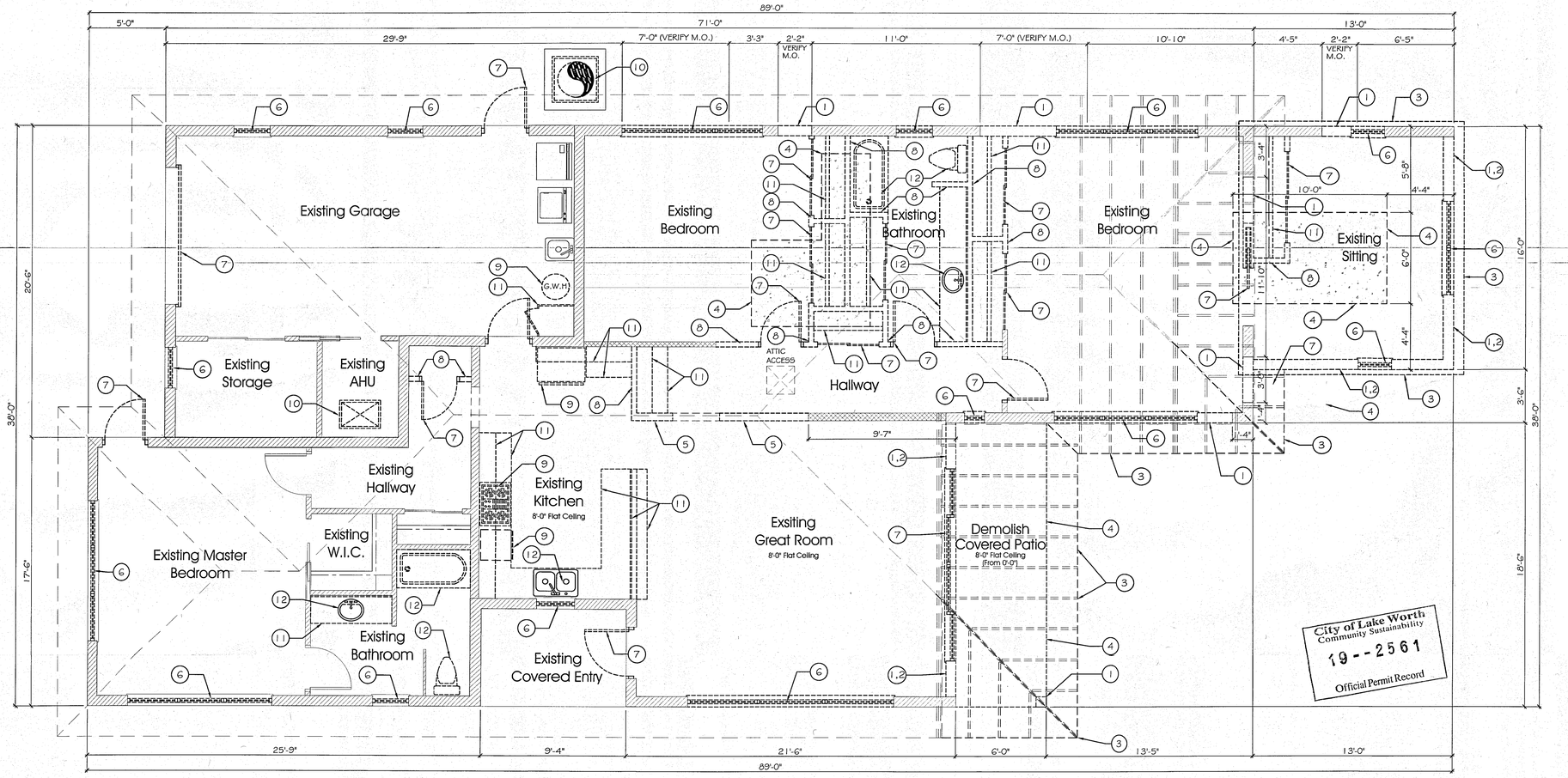

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DEMOLITION PLAN

SCALE : 1/4" = 1'-0"

NORTH

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SUBJECT TO COMPLIANCE WITH ALL CODES AND ORDINANCES IN EFFECT IN THE CITY OF LAKE WORTH

GENERAL DEMOLITION NOTES

1. TYPES OF DEMOLITION WORK: DEMOLITION INCLUDES BUT IS NOT LIMITED TO SELECTIVE REMOVAL AND SUBSEQUENT DISPOSAL OF THE FOLLOWING:
   - A. PARTIAL REMOVAL OF ROOF
   - B. REMOVAL OF ALL G.W.B. AT AREA OF ADDITION.
   - C. PARTIAL REMOVAL OF CMU WALLS.
   - D. PARTIAL REMOVAL OF FOOTINGS.
   - E. PARTIAL REMOVAL OF CONCRETE SLAB.
   - F. PARTIAL REMOVAL OF BEAM.
   - G. PARTIAL REMOVAL OF INTERIOR PARTITIONS
   - H. REMOVAL OF SELECT WINDOWS & FRAME
   - I. REMOVAL OF SELECT DOORS AND FRAME.
2. COORDINATE DEMOLITION WITH ALL TRADES TO ASSURE COMPLETE REMOVAL OF ITEMS TO BE DEMOLISHED AND COMPLETE PROTECTION OF AREAS NOT IN DEMOLITION.
3. PRIOR TO COMMENCEMENT OF DEMOLITION WORK, INSPECT AREAS IN WHICH WORK IS TO BE PERFORMED.
4. REFER TO REQUIREMENTS OF STRUCTURAL DOCUMENTS PRIOR TO COMMENCEMENT OF ANY WORK. (TYPICAL)
5. REFER TO STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR COORDINATION OF ADDITIONAL NOTES AND REQUIREMENTS.
6. PERFORM DEMOLITION WORK IN A SYSTEMATIC MANNER IN ACCORDANCE WITH GOVERNING REGULATIONS AND APPROVED CONSTRUCTION SCHEDULE.
7. PROTECTIONS: PROVIDE TEMPORARY BARRICADES, WARNING LIGHTS, SIGNS, BRACING, SHORING, TEMPORARY CONSTRUCTION PARTITIONS AND OTHER SAFEGUARDS TO PROTECT OWNER'S PERSONNEL AND GENERAL PUBLIC FROM INJURY DUE TO DEMOLITION WORK.
8. PROTECT FROM DAMAGE EXISTING FINISH WORK THAT IS TO REMAIN IN PLACE AND BECOMES EXPOSED DURING DEMOLITION OPERATIONS.
9. UTILITY AND LIFE SAFETY SERVICES: MAINTAIN AND KEEP IN SERVICE EXISTING UTILITIES AND LIFE SAFETY SYSTEMS TO FACILITY AND PROTECT AGAINST DAMAGE DURING DEMOLITION OPERATIONS.
10. OWNER WILL BE CONTINUOUSLY OCCUPYING FACILITIES ADJACENT TO AREAS OF SELECTIVE DEMOLITION WORK. CONDUCT SELECTIVE DEMOLITION WORK IN A MANNER THAT WILL MINIMIZE NEED FOR DISRUPTION OF OWNER'S NORMAL OPERATIONS.
11. CAREFULLY REMOVE, CLEAN, AND DELIVER TO OWNER EXISTING SALVAGEABLE MATERIALS, FIXTURES, DEVICES AND OTHER EQUIPMENT NOT RE-USED IN THE NEW CONSTRUCTION.
12. REMOVE DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS WHICH THE OWNER DOES NOT WISH TO SALVAGE FROM BUILDING SITE. TRANSPORT AND LEGALLY DISPOSE OF MATERIALS OFF SITE.
13. CONTRACTOR IN COOPERATION WITH OWNER, WILL SHUT OFF UTILITIES SERVING AREA OF CONSTRUCTION.
14. CONTRACTOR WILL DISCONNECT AND SEAL UTILITIES SERVING AREAS TO BE DEMOLISHED, PRIOR TO START OF DEMOLITION WORK WITHOUT INTERRUPTION TO OWNER'S OPERATIONS.
15. IF UNANTICIPATED MECHANICAL, ELECTRICAL, OR STRUCTURAL ELEMENTS WHICH CONFLICT WITH THE INTENDED FUNCTION OR DESIGN ARE ENCOUNTERED, INVESTIGATE AND MEASURE BOTH NATURE AND EXTENT OF THE CONFLICT AND NOTIFY THE ARCHITECT OR RESPECTIVE ENGINEER FOR DIRECTIVE.

DEMOLITION NOTES

A. "FLOORING" DENOTES FLOOR COVERING MATERIALS,, INCLUDING BACKING, ADHESIVES, DOWN TO, BUT EXCLUSIVE OF FLOOR SLAB, STRUCTURAL SLABS AND STRUCTURAL MATERIALS, UNLESS NOTED OTHERWISE.

B. "CEILING" DENOTES CEILING MATERIAL INCLUDING SUSPENSION SYSTEM COMPONENTS, HANGER WIRE, CHANNELS, ADHESIVE RESIDUALS, MOLDINGS, UP TO BUT EXCLUSIVE OF STRUCTURAL MATERIALS.

C. WALLS TO BE REMOVED SHALL BE REMOVED TO SUBFLOORING. PATCH WITH NEW FLOOR SIMILAR TO EXISTING FLOORING. (VERIFY WITH OWNER)

D. WHEN OPENINGS ARE CUT INTO AN EXISTING WALL, THE OPENING SHALL BE A MINIMUM OF 6" WIDER THAN THE FINISHED OPENING REQUIRED TO ALLOW FOR DBL. JACK STUDS ON EACH SIDE OF OPENING AND (2) 2X8 HEADER; WHERE APPLICABLE.

E. AFTER DEMOLITION OF MATERIAL THE RESULTING EXPOSED SURFACE SHALL BE PATCHED, SMOOTHED AND MATCHED FLUSH WITH EXISTING CONDITIONS.

F. MECHANICAL AND ELECTRICAL ITEMS THAT ARE CAPPED AND ABANDONED BEHIND FINAL FINISHES SHALL BE TOTALLY CONCEALED.

G. SEE PLANS FOR FOR ADDITIONAL DEMOLITION NOTES.

H. MATERIALS FROM DEMOLITION SHALL BE LEGALLY DISPOSED OF OFF SITE, UNLESS DIRECTED OTHERWISE BY OWNER.

SPECIFIC DEMOLITION NOTES

1. REMOVE ALL ABANDONED WIRING, J-BOXES, SWITCHES AND RECEPTACLES.
2. COORDINATE WITH OWNER ALL DEMOLITION WORK, INCLUDING ITEMS TO BE SALVAGED.
3. THE REMOVAL OF ANY EXISTING FLOORING SHALL BE COORDINATED W/ OWNER.

KEYED DEMOLITION LEGEND

1	SAWCUT/REMOVE PORTION OF EXISTING CMU WALL.
2	SAWCUT/REMOVE PORTION OF EXISTING TIE/BOND BEAM ABOVE
3	REMOVE PORTION OF EXISTING ROOF/OVERHANG AS REQ'D.
4	SAWCUT/REMOVE PORTION OF SLAB AS REQ'D FOR PROPOSED WORK.
5	SHORE EXISTING TRUSSES AND REMOVE EXISTING WOOD FRAME LOAD BEARING WALL.
6	REMOVE WINDOW IN ITS ENTIRETY AND REMOVE PORTION OF WALL BELOW &/OR AT JAMBS FOR NEW WINDOW. COORDINATE WITH FLOOR PLAN AND PRODUCT APPROVALS. DISCARD AS PER OWNER.
7	REMOVE EXISTING DOOR AND FRAME. DISCARD AS PER OWNER.
8	REMOVE EXISTING INTERIOR WALL IN ITS ENTIRITY. REMOVE EXISTING UTILITIES AND CAP AS NECESSARY.
9	REMOVE EXISTING APPLIANCE AS REQ'D. COORDINATE UTILITIES WITH PROPOSED.
10	REMOVE EXISTING MECHANICAL EQUIPMENT AS REQ'D.
11	REMOVE EXISTING CABINETRY &/OR SHELVING
12	REMOVE EXISTING PLUMBING FIXTURE

DEMOLITION LEGEND

- DASHED LINES DENOTE EXISTING WALL,PARTITION, DOOR, WINDOW, OR OBJECT TO BE REMOVED. U.O.N.
- CONTINUOUS LINES TYPICALLY DENOTE EXISTING TO REMAIN
- EXISTING WALL PARTITION, OR AREA TO REMAIN.

REVISION DATE	
NO	DETAIL

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ALTERATIONS AND ADDITION FOR:
MAKEPEACE RESIDENCE
1020 SOUTH LAKESIDE DRIVE
LAKE WORTH, FL - PCN: 38434427010420010

DRAWN BY
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AREA CALCS (PROPOSED)

EXISTING A/C AREA	2,107 S.F.
PROPOSED A/C AREA	760 S.F.
TOTAL EXISTING & PROPOSED A/C AREA	2,867 S.F.
EXISTING COVERED ENTRY	59 S.F.
REMODELED 1 CAR GARAGE	379 S.F.
PROPOSED COVERED PATIO	148 S.F.
TOTAL EXISTING & NEW AREA UNDER ROOF	3,453 S.F.

WALL LEGEND

	8" CMU WALL
	BATT INSULATION PER PLAN
	NEW INTERIOR PARTITION PER PLAN
	INSULATION FOR SOUND ATTENUATION
	WALL, HEADER, OR OBJECT ABOVE
	EXISTING WALL OR PARTITION TO REMAIN. FIELD VERIFY CONSTRUCTION.

FLOOR PLAN NOTES

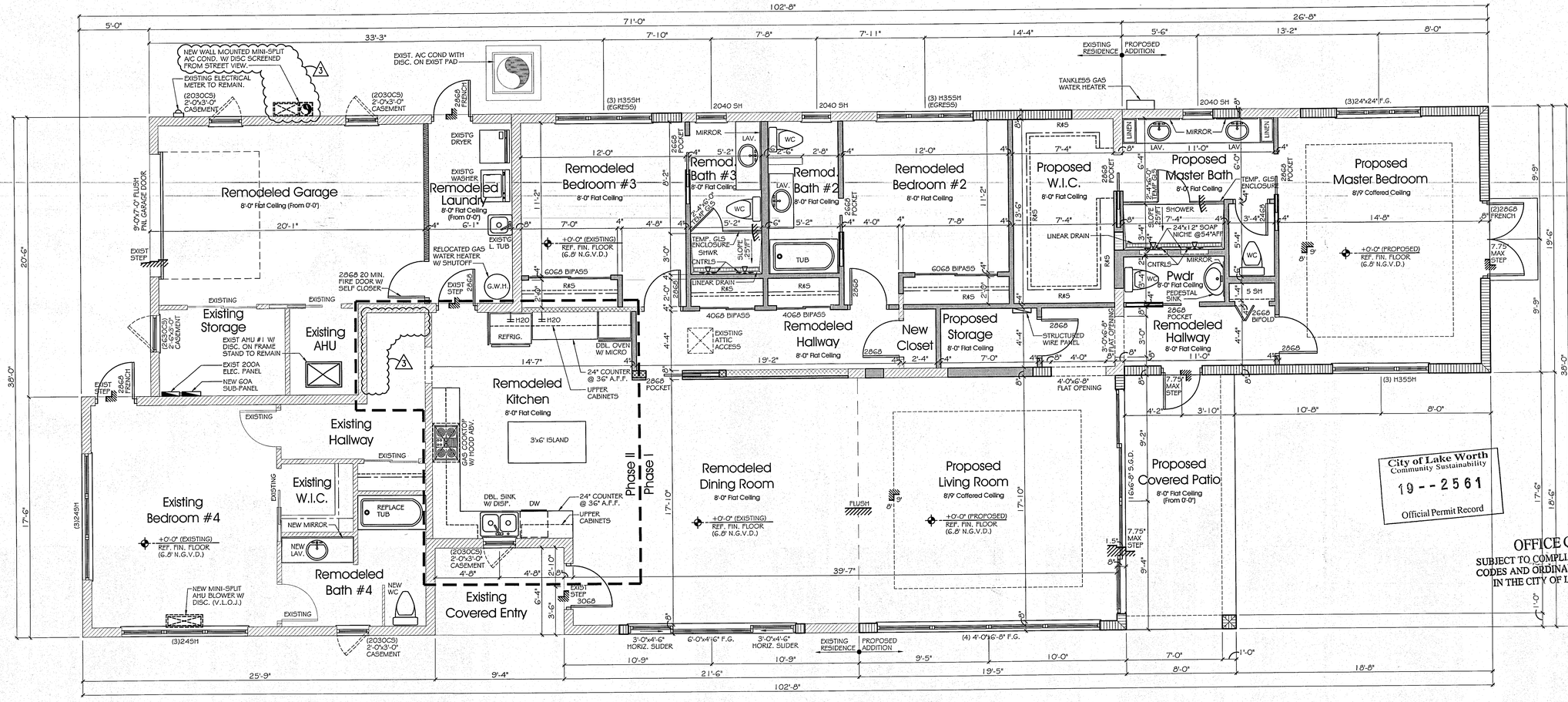
2017 FLORIDA BUILDING CODE RESIDENTIAL, 6TH EDITION

1. REFER TO GENERAL NOTES (SHEET A-1) AND STRUCTURAL NOTES (SHEET SD-1) FOR FURTHER INFO.
2. REFER TO DETAIL SHEETS FOR FURTHER INFO.
3. REFER TO STRUCTURAL DWGS FOR RAISED SLAB INFO.
4. REFER TO STRUCTURAL DWGS FOR TIE/BOND BEAM INFO.
5. ALL VERTICAL ELEVATION DATUM FOLLOWED BY "A.F.F." IS REFERENCED FROM THE FINISHED FLOOR. IF NOT FOLLOWED BY "A.F.F." THE VERTICAL ELEVATION IS REFERENCED FROM THAT ROOMS FLOOR ELEVATION.
6. 0'-0" REFERENCE IS TOP OF SLAB AS NOTED ON PLAN. FLOOR TRANSITIONS AS SHOWN ARE FROM FINISHED FLOOR TO FINISHED FLOOR. ALL CEILING HEIGHTS ARE MEASURED FROM 0'-0" OR TOP OF FLOOR STRUCTURE.
7. EXTERIOR PATIO STEP-DOWN REQUIRES COORDINATION BY CONTRACTOR AND IS DETERMINED UPON SELECTION OF FINISH (0" TO 7-3/4" DROP VARIATION.)
8. PROVIDE 1/2" CDX PLYWOOD AT ALL INTERIOR AREAS TO RECEIVE CABINETRY OR CAST STONE.
9. PROVIDE MOISTURE RESISTANT G.W.B. OR CEMENT BOARD AT ALL WET & VAPOR PRONE AREAS.
10. PROVIDE ANTI-SCALD VALVES AT ALL SHOWER AND TUB LOCATIONS.
11. ALL WINDOWS AND GLASS ENCLOSURES WITH SILLS LESS THAN 60" ABOVE FLOOR AT TUBS AND SHOWERS SHALL BE TEMPERED.
12. MECHANICAL CONTRACTOR TO PROVIDE MAKE-UP AIR TO SPACE AS REQUIRED.
13. ARCHED OPENINGS: SPRING LINE IS 12" BELOW TOP OF ARCH. U.N.O.
14. ALL NICHE SIZES SHALL BE VERIFIED ON JOB. U.N.O.
15. ALL SOAP NICHES TO FINISH 1'-4" X 1'-2" AT ALL BATHS (VERIFY HEIGHT W/ PROJECT SUPERVISOR.)
16. ALL PLUMBING STACKS TO SECOND FLOOR SHALL BE WRAPPED WITH SOUND INSULATION AT TOP OUT.
17. GENERAL CONTRACTOR SHALL PROVIDE THE SPECIFICATIONS AND CUT SHEETS FOR ALL PREFAB GAS FIREPLACES & APPLIANCES INCLUDING INFORMATION ON 'OUTSIDE COMBUSTION AIR'.
18. PROVIDE 8" DUCT FOR MAKE-UP AIR TO ALL INTERIOR VENTLESS GAS FIREPLACES AND APPLIANCES. CONTRACTOR SHALL VERIFY ACTUAL DUCT SIZING PER MANUFACTURER SPECS.
19. EXTERIOR 2ND FLOOR BALCONIES/ SUN DECKS W/ TILE OR STONE SHALL RECEIVE TREMCO VULKEM UNDER-TILE-WATERPROOFING SYSTEM.
20. ALL WINDOWS SHALL HAVE SEALANT PLACED BETWEEN WINDOW FLANGE & BUCK AT TIME OF WINDOW PLACEMENT. AFTER AFFIXING WINDOW APPLY CONT SEALANT TO JOINT BETWEEN BUCK AND EDGE OF WINDOW FLANGE.
21. ALL EXTERIOR DOOR & WINDOW MASONRY OPENINGS SHALL RECEIVE TREMCO VULKEM WET FLASHING FULL WIDTH OF OPENING @ HEAD, JAMB, SILL & CONTINUE PAST FRONT OPENING FACE 2". WET FLASHING OUTBOARD OF BUCKS SHALL BE SANDED W/ SILICA SAND TO REJECTION. AFTER BUCK INSTALLATION, WATERPROOF FULL PERIMETER OF BUCK JOINT WITH MASONRY OPENING.

RESCUE ESCAPE/MEANS OF EGRESS - SECT. R311 & R310

2017 FLORIDA BUILDING CODE RESIDENTIAL, 6TH EDITION

1. R311.1 ALL DWELLINGS SHALL BE PROVIDED WITH A MEANS OF EGRESS AS PROVIDED IN THIS SECTION. THE MEANS OF EGRESS SHALL PROVIDE A CONTINUOUS AND UNOBSTRUCTED PATH OF VERTICAL AND HORIZONTAL EGRESS TRAVEL FROM ALL PORTIONS OF THE DWELLING TO THE EXTERIOR AT THE REQUIRED EGRESS DOOR WITHOUT TRAVELING THROUGH A GARAGE.
2. R311.2 PROVIDE AT LEAST ONE EGRESS DOOR FOR EACH DWELLING UNIT. THE EGRESS DOOR SHALL BE SIDE-HINGED AND HAVE A CLEAR WIDTH OF 32" (MIN.) WHEN THE DOOR IS OPEN 90°. THE CLEAR HEIGHT SHALL BE 78" (MIN). REMAINING DOORS ARE NOT REQUIRED TO COMPLY WITH THESE MINIMUM DIMENSIONS. EGRESS DOORS SHALL BE READILY OPENABLE FROM INSIDE THE DWELLING WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
3. R311.3 THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL NOT BE LESS THAN THE DOOR SERVED. EVERY LANDING SHALL HAVE A MINIMUM DIMENSION OF 36" MEASURED IN THE DIRECTION OF TRAVEL. EXTERIOR LANDINGS SHALL BE PERMITTED TO HAVE A MAX 2% SLOPE (.25" PER 12") EXCEPTION: BALCONIES LESS THAN 60 S.F. & ONLY ACCESSIBLE FROM A DOOR CAN HAVE A LANDING LESS THAN 36" MEASURED IN THE DIRECTION OF TRAVEL.
4. R311.3.1 LANDINGS AT EGRESS DOORS SHALL NOT BE MORE THAN 1-1/2" LOWER THAN THE TOP OF THE THRESHOLD. EXCEPTION: THE MAX. STEP AT LANDINGS OR FLOORS ON THE EXTERIOR SIDE OF THE EGRESS DOOR SHALL BE 7-3/4" BELOW THE TOP OF THE THRESHOLD.
5. R310.1 BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. WHERE EMERGENCY ESCAPE AND RESCUE OPENINGS ARE PROVIDED THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" MEASURED FROM THE FINISHED FLOOR TO THE BOTTOM OF THE CLEAR OPENING. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY, OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY.
6. R310.1.1 EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET EXCEPTION: THE MINIMUM NET CLEAR OPENING FOR GRADEFLOOR EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE 5.0 S.F.
7. R310.1.2 THE MIN. NET CLEAR OPENING HEIGHT SHALL BE 24". THE MIN. NET CLEAR OPENING WIDTH SHALL BE 20". THE NET CLEAR OPENING SIZES SHALL BE THE RESULT OF NORMAL OPERATION OF THE OPENING.



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PROPOSED FLOOR PLAN

SCALE : 1/4" = 1'-0"

NORTH

REVISION DATE	
NO	DETAIL
1	BLDG LOC. & O.H. CHANGE - 8/15/2019
2	POOL & DECK CHANGE -10/15/2019
3	COMMENTS 11/13/2019

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LAKE WORTH, FL - PCN: 38434427010420010

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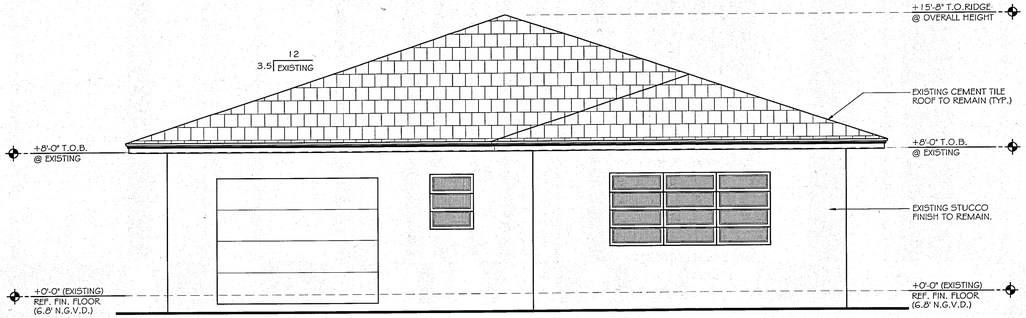
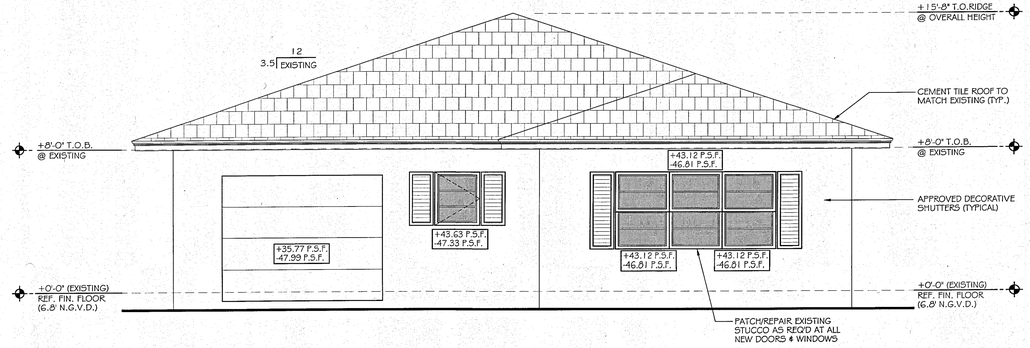


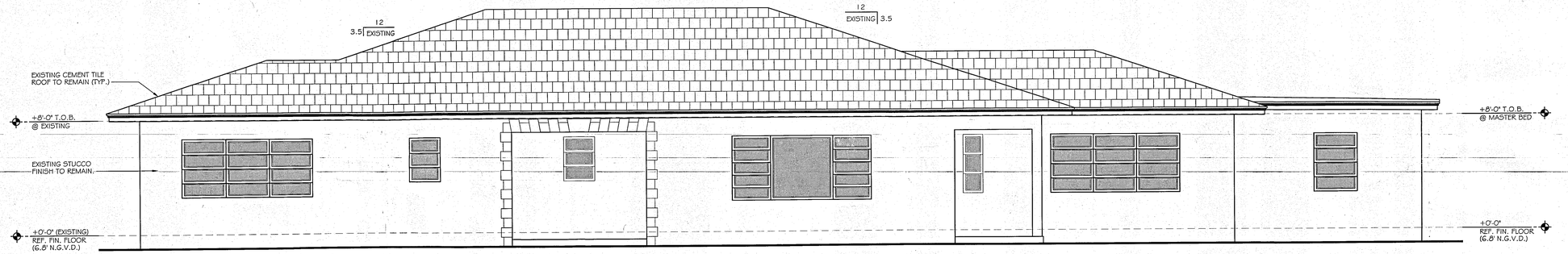
EXISTING WEST (FRONT) ELEVATION

SCALE : 1/4" = 1'-0"



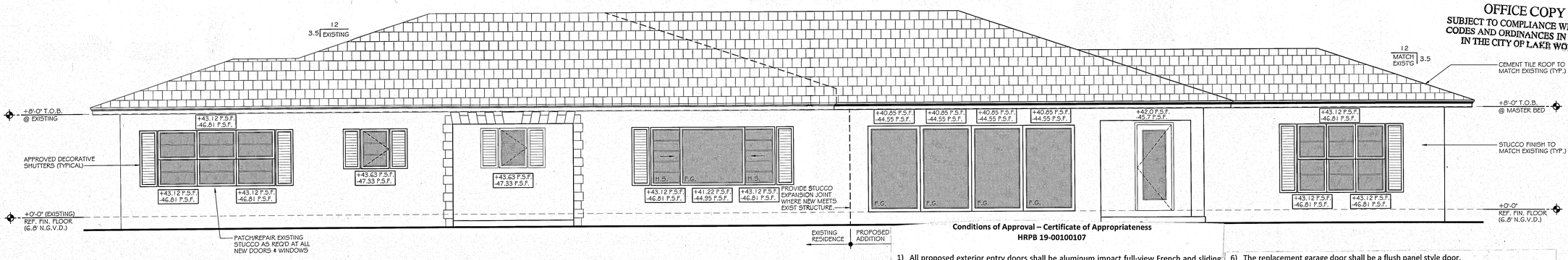
PROPOSED WEST (FRONT) ELEVATION

SCALE : 1/4" = 1'-0"



EXISTING SOUTH (RIGHT SIDE) ELEVATION

SCALE : 1/4" = 1'-0"



PROPOSED SOUTH (RIGHT SIDE) ELEVATION

SCALE : 1/4" = 1'-0"

Conditions of Approval – Ad Valorem Tax Exemption
HRPB 19-00100107

1) All work shall be conducted per the submitted and approved COA for exterior alterations, including the recommend conditions of approval. Any revisions or changes to this approval shall be reported to Staff and may require additional Staff or HRPB approvals.
2) All work shall be conducted in accordance with the Secretary of the Interior's Standards.
3) The applicant shall be responsible for fully documenting the rehabilitation process so that the Board will have sufficient documentation to evaluate the completed work to make a recommendation on the tax exemption application to City Commission.

Conditions of Approval – Certificate of Appropriateness
HRPB 19-00100107

1) All proposed exterior entry doors shall be aluminum impact full-view French and sliding doors, and shall utilize clear glass, frosted, obscure glass, or glass with a clear Low-E coating. Tinted, highly reflective, etched, or leaded glass shall not be used.
2) The proposed windows shall be aluminum impact single-hung, casement, horizontal sliding, and fixed windows with a bronze or clear-anodized silver-mill finish, and shall utilize clear glass, or glass with a clear Low-E coating. Tinted, grey, mirrored, or colored glass shall not be used.
3) All divided light patterns shall be created utilizing exterior raised applied triangular muntins. External flat muntins or "grills between the glass" shall not be permitted.
4) The windows and doors shall be replaced in their original openings, and the openings shall not be made smaller by building in the framing or made larger by expanding the opening, except for the openings on the south elevation (as indicated on the plans).
5) The windows shall be installed recessed a minimum of two inches (2") in the jambs, and shall not be installed flush with the exterior wall.
6) The replacement garage door shall be a flush panel style door.
7) The addition's stucco shall match the smooth stucco on the existing historic structure. The Applicant shall be responsible for contacting Staff for an on-site inspection prior to stucco completion.
8) The roofing material shall be a flat white concrete tile, as proposed.
9) The Site Data Table shall be revised (sheet A-1) at permitting to ensure consistency with the site plan measurements.

APPROVED
Per the Historic Preservation Division
PZHP Division — Date 12-5-19

City of Lake Worth
Community Sustainability
19--2561
Official Permit Record

OFFICE COPY
SUBJECT TO COMPLIANCE WITH ALL CODES AND ORDINANCES IN EFFECT IN THE CITY OF LAKE WORTH

REVISION DATE	
NO	DETAIL

www.UniversalEngineering.net
8721 WELLINGTON VIEW DR.
WELLINGTON FL 33414
VOICE: 561-204-5000
FAX: 561-204-1050
UNIVERSAL ENGINEERING, INC.

SEAL:
ALAA ALI, Ph.D., P.E.
CONSULTING ENGINEER
FL. P.E. # 53318

ALTERATIONS AND ADDITION FOR:
MAKEPEACE RESIDENCE
1020 SOUTH LAKESIDE DRIVE
LAKE WORTH, FL - PCN: 38434427010420010

DRAWN BY: DMW
EDIT DATE:
ISSUE DATE: 08/06/19
SCALE: AS NOTED
SHEET NUMBER: A-4
12 SHEETS TOTAL

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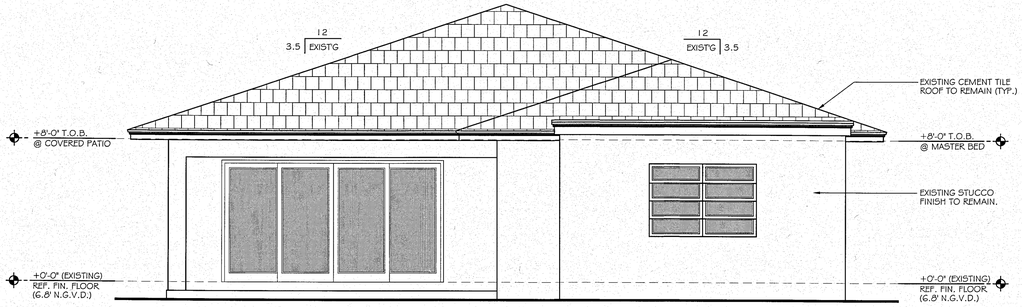
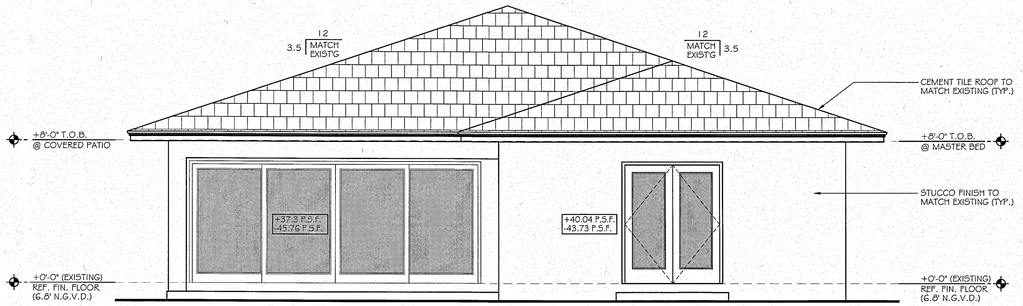


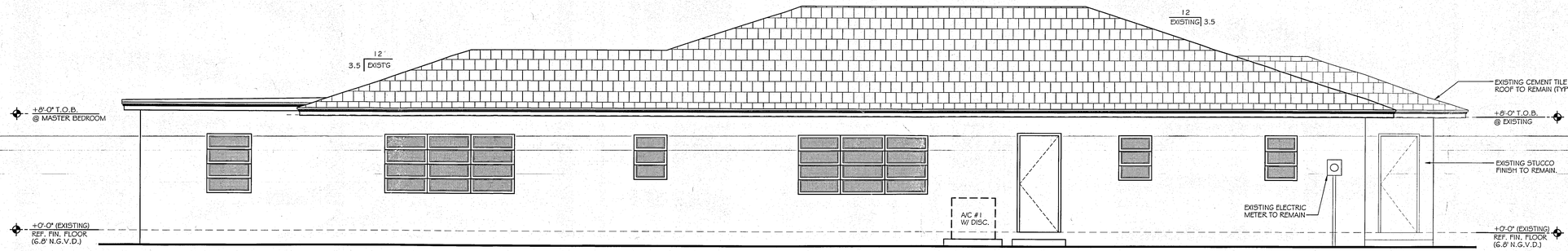
EXISTING EAST (REAR) ELEVATION

SCALE : 1/4" = 1'-0"



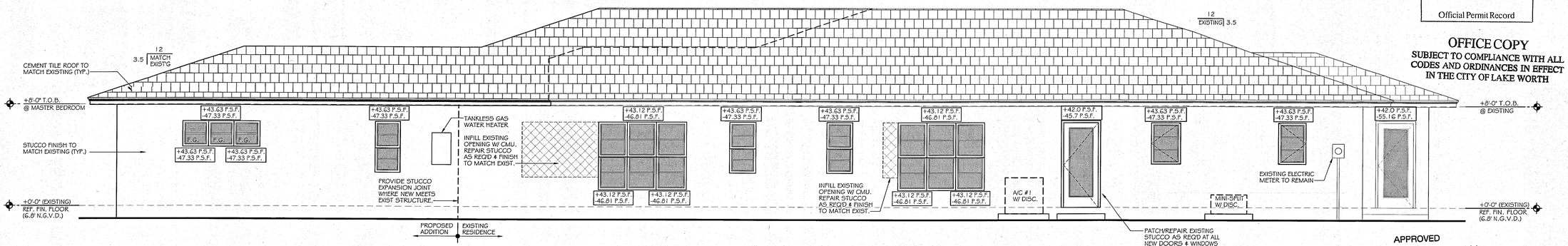
PROPOSED EAST (REAR) ELEVATION

SCALE : 1/4" = 1'-0"



EXSITING NORTH (LEFT SIDE) ELEVATION

SCALE : 1/4" = 1'-0"



PROPOSED NORTH (LEFT SIDE) ELEVATION

SCALE : 1/4" = 1'-0"

City of Lake Worth
Community Sustainability
19--2561
Official Permit Record

OFFICE COPY
SUBJECT TO COMPLIANCE WITH ALL CODES AND ORDINANCES IN EFFECT IN THE CITY OF LAKE WORTH

APPROVED
Per the Historic Preservation Division
10/25/19
PZHP Division Date

*SEE HISTORIC PRESERVATION CONDITIONS OF APPROVAL ON SHEET A-4

REVISION DATE	
NO	DETAIL

UNIVERSAL ENGINEERING, INC.
8721 WELLINGTON VIEW DR.
WELLINGTON FL 33414
VOICE: 561-204-5000
FAX: 561-204-1050
www.UniversalEngineering.net

SEAL:
ALAA ALI, Ph.D., P.E.
CONSULTING ENGINEER
FL. P.E. # 53318

ALTERATIONS AND ADDITION FOR:
MAKEPEACE RESIDENCE
1020 SOUTH LAKESIDE DRIVE
LAKE WORTH, FL - PCN: 38434427010420010

DRAWN BY	DMW
EDIT DATE	
ISSUE DATE	08/06/19
SCALE	AS NOTED
SHEET NUMBER	A-4.1
12 SHEETS TOTAL	

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DEPARTMENT FOR COMMUNITY SUSTAINABILITY
Planning Zoning Historic Preservation Division
1900 2ND Avenue North
Lake Worth Beach, FL 33461
561-586-1687

ATTACHMENT C – PRE-CONSTRUCTION PHOTOS

MEMORANDUM DATE: September 1, 2021

AGENDA DATE: September 8, 2021

TO: Chair and Members of the Historic Resources Preservation Board

RE: **1020 South Lakeside Drive**

FROM: Jordan Hodges, Senior Preservation Coordinator
Abraham Fogel, Preservation Planner
Department for Community Sustainability

TITLE: **HRPB Project Number 19-00100107:** Consideration of a Completed Work Application (Part III) for a Historic Preservation Ad Valorem Tax Exemption and a recommendation to the City Commission for a Historic Preservation Ad Valorem Tax Exemption for the subject property located at **1020 South Lakeside Drive**; PCN#38-43-44-27-01-042-0010. The subject property is a contributing resource to the South Palm Park Local Historic District and is located within the Single-Family Residential (SF-R) zoning district.

NOTICE
This property is being considered for a
HRPB Project # COA 19-00100107 VAR 19-01500001
COA - EXTERIOR ALTERATIONS / ADDITION
HP AD VALOREM TAX EXEMPTION
VARIANCE FROM BASE FLOOD ELEVATION
For information regarding this case call:
City of Lake Worth Beach PZHP
561-586-1687

Photo 1 – Bedroom addition

Photo 2 – Bedroom addition

Photo 3 - Patio

Photo 4 – Garage Door

Building Photos (note: roof has been recovered with modified bitumen roofing due to excessive leaks. Roof tiles will be installed as part of the addition project).

North Elevation

East Elevation

South Elevation

West Elevation

DEPARTMENT FOR COMMUNITY SUSTAINABILITY
Planning Zoning Historic Preservation Division
1900 2ND Avenue North
Lake Worth Beach, FL 33461
561-586-1687

ATTACHMENT D – COMPLETED WORK APPLICATION

MEMORANDUM DATE: September 1, 2021

AGENDA DATE: September 8, 2021

TO: Chair and Members of the Historic Resources Preservation Board

RE: **1020 South Lakeside Drive**

FROM: Jordan Hodges, Senior Preservation Coordinator
Abraham Fogel, Preservation Planner
Department for Community Sustainability

TITLE: **HRPB Project Number 19-00100107:** Consideration of a Completed Work Application (Part III) for a Historic Preservation Ad Valorem Tax Exemption and a recommendation to the City Commission for a Historic Preservation Ad Valorem Tax Exemption for the subject property located at **1020 South Lakeside Drive**; PCN#38-43-44-27-01-042-0010. The subject property is a contributing resource to the South Palm Park Local Historic District and is located within the Single-Family Residential (SF-R) zoning district.

Historic Preservation Property Tax Exemption Application
Part 3 – Request for Review of Completed work

Upon completion of the restoration, rehabilitation or renovation, return this form with photographs of the completed work (views of site improvements, exterior and interior work for buildings) to the Division of Historical Resources or the Local Historic Preservation Office, as applicable. These photographs must provide a comprehensive description of the completed work. They should be the same views as the *before* photographs included in Part 2 of the application. Type or print clearly in black ink. The final recommendation of the Division of Historical Resources or the Local Historic Preservation Office, as applicable, with respect to the requested historic preservation property tax exemption is made on the basis of the descriptions in this Request for Review of Completed Work.

1. Property identification and location:

Property Identification Number:__38-43-44-27-01-042-0010_____

Address of property: Street_____1020 S. Lakeside Dr.
_____

City_Lake Worth Beach__ County_____Palm Beach__ Zip Code_____33460_____

2. Data on restoration, rehabilitation, or renovation project:

Project starting date____12/16/2019___ Project completion date: _____5/7/2021_____

Estimated cost of entire project: $__427,110_____

Estimated costs attributed solely to work on historic buildings or archaeological site: $__369,467_____

3. Owner Attestation: I hereby apply for the historic preservation property tax exemption for the restoration, rehabilitation or renovation work described above and in Part 2 of the Historic Preservation Property Tax Exemption Application (Application) submitted for this project. I attest that the information provided is, to the best of my knowledge, correct, and that in my opinion the completed project conforms to The Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings, and is consistent with the work described in Part 2 of the Application. I also attest that I am the owner of the property described above or, if the property is not owned by an individual, that I am the duly authorized representative of the owner. Further, by submission of this Application and Request for Review of Completed Work (Request), I agree to allow access to the property by representatives of the Division of Historical Resources or the Local Historic Preservation Office, where such office exists, and appropriate representatives of the local government from which the exemption is being requested, for the purpose of verification of information provided in the Application and this Request. I understand that, if the requested exemption is granted, I will be required to enter into a Covenant with the local government granting the exemption in which I must agree to maintain the character of the property and the qualifying improvements for the term of the exemption. I also understand that falsification of factual representations in this Application or Request is subject to criminal sanctions pursuant to the Laws of Florida.

____Lewis Makepeace_____ _____ _____6/2/2021_____
Name Signature Date

Complete the following if signing for an organization or multiple owners (See next page for additional owners):

_____Owner_____ _____
Title Organization name

Mailing Address _____1020 S. Lakeside Dr._____

City_____Lake Worth Beach____ State_____FL_____ Zip Code _____33460____

Daytime Telephone Number (561) __706-6989_____

Page Eleven – Request for Review of Completed Work

List Additional Owners: Name Nathalie H. Makepeace

Street 1020 S. Lakeside Dr.

City Lake Worth Beach State FL Zip Code 33460

Name

Street

City State Zip Code

Name

Street

City State Zip Code

If there are additional owners, provide the indicated information for each on a separate sheet of paper.

REVIEW OF COMPLETED WORK
For Local Historic Preservation Office or Division Use Only

Property Identification Number 38-43-44-27-01-042-0010

Property Address 1020 S. Lakeside Dr. Lake Worth Beach, FL. 33460

The ( )Local Historic Preservation Office ( )Division has reviewed Part 3 (Request for Review of Completed Work) of the Historic Preservation Property Tax Exemption Application for the above named property and hereby:

( ) Determines that the completed improvements to the property **are consistent with the Secretary of the Interior's Standards for Rehabilitation** and Guidelines for Rehabilitating Historic Buildings, and other criteria set forth in Chapter 1A-38, F.A.C., and, therefore, **recommends approval** of the requested historic preservation tax exemption.

( ) Determines that the completed improvements to the above referenced property **are not consistent with the Secretary of the Interior's Standards for Rehabilitation** and Guidelines for Rehabilitating Historic Buildings, and other criteria set forth in Chapter 1A-38, F.A.C., and, therefore, **recommends denial** of the requested historic preservation tax exemption for the reasons stated in the Review Comments below.

Review Comments:

Page Twelve – Request for Review of Completed Work

_____

_____

_____

Additional Review Comments attached? Yes( ) No( )

Signature_____

Typed or printed name _____

Title _____

Date_____

DOS Form No. HR3E101292
Revised 09/03/00

Historic Preservation Property Tax Exemption Application Amendment Sheet

Property Identification Number___38-43-44-27-01-042-0010_____

Address of property: Street_____1020 S. Lakeside Dr._____

City__Lake Worth Beach_ County____Palm Beach_____ Zip Code___33460_____

1. Amendment Description: Indicate all changes in the project work, giving the originally proposed treatment and the amended work item description (use additional blank sheets if necessary):

Installation of tinted windows – justification:

Bronze window frames and tinted glass were selected to provide the best match for the existing windows that were tinted bronze glass with bronze frames – see pictures before & after

Low e windows were selected to protect the interior materials from the harsh exposed southern, eastern and western exposures of the home.

Bronze windows with tinted glass was discussed numerous times with historic staff with no indication that there was any kind of restrictions.

The specifications for our windows were submitted with our building permit and were approved.

Installation of flat mullions vs. raised – justification:

We were replacing awning windows that had flat frames (see pictures)

We installed windows with a mullion pattern that would most accurately mimic the original awning windows.

Raised mullions would not have preserved the historic look of the new windows.

2. Attach photographs and drawings as necessary to illustrate the proposed changes.

____Lewis Makepeace_____ _____ _____6/2/2021_____

Name Signature Date

Complete the following if signing for an organization or multiple owners (See next page for additional owners):

_____Owner_____ _____

Title Organization name

Mailing Address _____1020 S Lakeside Dr. _____

City_____Lake Worth Beach_____ State_____FL_____ Zip Code _____33460_____

Daytime Telephone Number (561) ____706-6989_____

Local Historic Preservation Office or Division Use Only

The ( )Local Historic Preservation Office or ( )Division has reviewed the Amendment Sheet for the above named property and hereby:

( ) Determines that the work described in this Amendment to the Historic Preservation Property Tax Exemption Application for the property **is consistent with the Secretary of the Interior's Standards for Rehabilitation** and Guidelines for Rehabilitating Historic Buildings, and the criteria set forth in Chapter 1A-38, F.A.C.

( ) Determines that the work described in this Amendment to the Historic Preservation property Tax Exemption Application for the property **is not consistent with the Secretary of the Interior's Standards for Rehabilitation** and Guidelines for Rehabilitating Historic Buildings, and the criteria set forth in Chapter 1A-38, F.A.C. All work not consistent with the referenced Standards, Guidelines and criteria is identified in the Review Comments. *Recommendations to assist the applicant in bringing the proposed work into compliance with the Standards, Guidelines and criteria are provided in the Review Comments.*

Page Two – Amendment Sheet --Historic Preservation Property Tax Exemption Application

Review Comments: _____

_____

_____

_____

_____

_____

Additional Review Comments attached? Yes( ) No( )

Signature_____

Typed or printed name _____

Title _____

Date_____

DEPARTMENT FOR COMMUNITY SUSTAINABILITY
Planning Zoning Historic Preservation Division
1900 2ND Avenue North
Lake Worth Beach, FL 33461
561-586-1687

ATTACHMENT E – POST-CONSTRUCTION PHOTOS

MEMORANDUM DATE: September 1, 2021

AGENDA DATE: September 8, 2021

TO: Chair and Members of the Historic Resources Preservation Board

RE: **1020 South Lakeside Drive**

FROM: Jordan Hodges, Senior Preservation Coordinator
Abraham Fogel, Preservation Planner
Department for Community Sustainability

TITLE: **HRPB Project Number 19-00100107:** Consideration of a Completed Work Application (Part III) for a Historic Preservation Ad Valorem Tax Exemption and a recommendation to the City Commission for a Historic Preservation Ad Valorem Tax Exemption for the subject property located at **1020 South Lakeside Drive**; PCN#38-43-44-27-01-042-0010. The subject property is a contributing resource to the South Palm Park Local Historic District and is located within the Single-Family Residential (SF-R) zoning district.

HOME OF
THE MONTH

NOTICE

This property is being considered for a

HRPB Project # 19-00100107

HP Ad Valorem Tax Exemption/ Historic

Part III Application - Review of Completed

Work

For information regarding this case call:
City of Lake Worth Beach PZHP
561-586-1687

1020

1020

DEPARTMENT FOR COMMUNITY SUSTAINABILITY
Planning Zoning Historic Preservation Division
1900 2ND Avenue North
Lake Worth Beach, FL 33461
561-586-1687

MEMORANDUM DATE: September 1, 2021

AGENDA DATE: September 8, 2021

TO: Chair and Members of the Historic Resources Preservation Board

RE: **307 North L Street**

FROM: Jordan Hodges, Senior Preservation Coordinator
Abraham Fogel, Preservation Planner
Department for Community Sustainability

TITLE: **HRPB Project Number 21-00100250:** Consideration of a Certificate of Appropriateness (COA) for the construction of four (4) new ± 1,489 square foot single-family structures on Lots 27, 28, 29, and 30 of Block 90 at **307 North L Street**; PCN #38-43-44-21-15-090-0270. The subject property is located in the Low-Density Multi-Family Residential (MF-20) zoning district and the Northeast Lucerne Local Historic District.

OWNER: SUNDREAM DEVELOPMENT LLC
Jeff Mercier
931 Village Blvd 905
West Palm Beach, FL 33409

APPLICANT: Antoniazzi Architecture Inc
Giorgio G. Antoniazzi
25 SE 2nd Avenue #319
Miami, FL 33131

PROPERTY DEVELOPMENT HISTORY:

The four (4) lots located at 307 North L Street (Lots 27, 28, 29, and 30 of Block 90) were developed as one 100' x 135' parcel in 1925 with a single-story single-family residence and detached garage. Although no architectural drawings of the buildings are available in the City's property files, property cards from the 1940s and 1950s (included as **Attachment A**) describe the buildings as being of frame construction on pier foundations, having gable and shed roofs, wood windows, and open porches. The detached garage was demolished in 1976, followed by the residence in 1990. The parcel has remained vacant and unimproved since the demolitions. Current photos of the property are included as **Attachment B**.

On July 15, 2021, staff issued a zoning verification letter (ZONL #21-01700054) approving a request by the property owner to separate 307 North L Street back into its four (4) original 25-foot-wide platted lots of record. Although a request has been made by the property owner, the Palm Beach County Property Appraiser's Office has not yet issued new parcel control numbers (PCNs) for the individual lots. Once issued, the property owner will be required to apply for City of Lake Worth Beach addresses for the individual parcels.

PROJECT DESCRIPTION:

The applicant, Giorgio Antoniazzi, is requesting approval for the construction of four (4) new single-family structures on the four (4) 25' x 135' (3,375 sq. ft.) platted lots of record. The lots are located on the west side of North L Street, between 3rd Avenue North and 4th Avenue North in Lake Worth Beach. The vacant properties are located in the Low-Density Multi-Family Residential (MF-20) zoning district and retain Future Land Use (FLU) designations of Medium Density Residential (MDR).

If approved, the subject application would allow the construction of four (4) new single-story single-family residences on four (4) lots. The buildings are identical in design and draw inspiration from the Streamline Moderne architectural style. The application will require the following approvals:

1. **COA** for the construction of a new ± 1,489 sf. single-family structure for Lot 27 of Block 90
2. **COA** for the construction of a new ± 1,489 sf. single-family structure for Lot 28 of Block 90
3. **COA** for the construction of a new ± 1,489 sf. single-family structure for Lot 29 of Block 90
4. **COA** for the construction of a new ± 1,489 sf. single-family structure for Lot 30 of Block 90

STAFF RECOMMENDATION: Staff recommends denial of the application as the proposed roof design of the new single-family structures is not consistent with the Streamline Moderne architectural style and the Historic Preservation Design Guidelines criteria for new construction. In addition, the repetition of four (4) identical residences is not compatible with the development history within the City's historic districts. The item may be continued, at the Board's discretion, to facilitate the redesign of four (4) unique residences that are consistent with the development patterns of the surrounding district.

PROPERTY DESCRIPTION:

Owner	SUNDREAM DEVELOPMENT LLC
General Location	West side of North L Street, between 3rd Avenue North and 4th Avenue North
PCN	38-43-44-21-15-090-0270
Zoning	Low-Density Multi-Family Residential (MF-20)
Existing Land Use	Vacant
Future Land Use Designation	Medium Density Residential (MDR)

SITE ANALYSIS:

Surrounding Properties

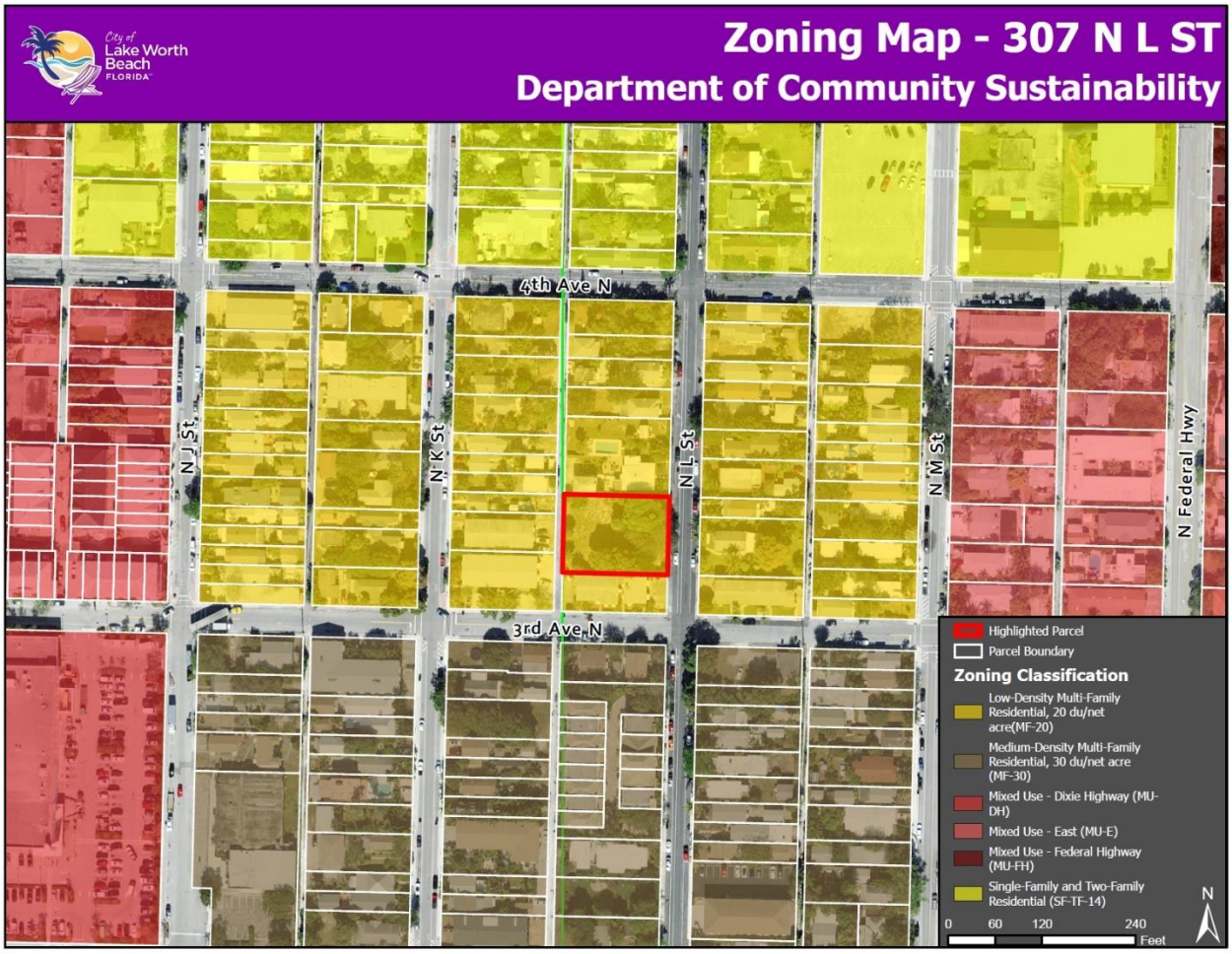
The site is surrounded by residential properties with similar Zoning and FLU designations, and thus, are found to be compatible with the proposed residential use on the subject site. The following summarizes the nature of the surrounding properties adjacent to the subject site:

NORTH: Immediately north of the subject site is a single-family structure and detached accessory dwelling unit. This parcel contains a FLU designation of MDR and a zoning designation of MF-20.

SOUTH: Immediately south of the subject site is a single-family structure. This parcel contains a FLU designation of MDR and a zoning designation of MF-20.

EAST: East of the subject site across North L Street is a single-family structure. This parcel contains a FLU designation of MDR and a zoning designation of MF-20.

WEST: West of the subject site across the rear alley is a multi-family structure. This parcel contains a FLU designation of MDR and a zoning designation of MF-20.



Consistency with the Comprehensive Plan

The subject sites are located in the Medium-Density Residential Future Land Use (FLU) designation. Per Policy 1.1.1.3 in the City's Comprehensive, the FLU designation allows for a maximum density of 20 per acre. As the proposed structure is a single-family development and has a proposed density of less than 20 units per acre, it is consistent with the intent of the Medium Density Residential designation.

The proposed single-family structures are also consistent with Goal 3.1, which seeks to achieve a supply of housing that offers a variety of residential unit types and prices for current and anticipated homeowners and renters in all household income levels by the creation and/or preservation of a full range of quality housing units.

LAND DEVELOPMENT CODE REQUIREMENTS:

Land Development Code Requirements			
Code References	**23.3-10 (MF-20); 23.4-10 (Off-street parking)**		
	Required	**Proposed – Site Plan A**	**Proposed – Site Plan B**
Lot Area	5,000 sf.	**3,375 sf. Lot of Record**	**3,375 sf. Lot of Record**
Lot Width	50'-0"	**25'-0" Lot of Record**	**25'-0" Lot of Record**
Building Height	30'-0" (2 stories)	17-8"	14-1"
Setback - Front	20'-0"	20'-0"	20'-0"
Setback - Side	North: 3'-0" (10% of lot width, 3' min.) South: 3'-0" (10% of lot width, 3' min.)	North: 3'-0" South: 3'-0"	North: 3'-0" South: 3'-0"
Setback - Rear	13'-6" (10% of lot depth)	13'-6"	13'-6"
Impermeable Surface Total [(1)]	65% (2,193.75 sf.)	63.49% (2,143 sf.)	**65% (2,194 sf.)**
Front Yard Impermeable Surface Total	900 sf. or 75% pervious and landscaped	74.80% (374 sf.)	74.80% (374 sf.)
Maximum Building Coverage [(1)]	45.0% maximum (1,518.75 sf.)	44.11% (1,489 sf.)	44.11% (1,489 sf.)
Density/Number of Units	6 dwelling units	1 dwelling unit	1 dwelling unit
Floor Area Ratio [(1)]	0.60 maximum (2,025 sf.)	0.44 (1,489 sf.)	0.44 (1,489 sf.)
Living Area	800 sf. minimum	1,489 sf.	1,489 sf.
Parking	Single-family detached on lot less than fifty (50) feet wide - One (1) space per unit	2 spaces	1 space

Parking Dimensions	9'x18' perpendicular or angled off street 9'x28' perpendicular or angled off alley 9'x22' parallel	9'x28' perpendicular off alley	9'x22' parallel

(1)- Small lot (lots up to 4,999 square feet)

The proposed site plan is included in this report as **Attachment C.** The proposal features two site plan options that are depicted as Site Plan A and Site Plan B, which may be utilized interchangeably amongst the four parcels depending on the development objective for each site. The plans are generally consistent with all site data requirements in the City's zoning code. Both site plan options meet the minimum off-street parking requirements and comply with all building coverage allotments and required building setbacks, with the exception of the maximum impermeable surface in Site Plan B. The site plan shall be revised to ensure all impermeable surfaces do not exceed 65%. A landscape plan was also provided in the application which will be reviewed at permitting for compliance with the City's landscape requirements.

Existing Non-Conformities

The existing property is a nonconforming lot of record that does not comply with the minimum lot width and lot area provided within Section 23.3-10 of the Lake Worth Beach Land Development Regulations. Pursuant to LDR Section 23.5-3(c), Nonconforming lots of record:

A nonconforming lot of record is a platted lot which by width, depth, area, dimension or location does not meet current standards set forth in these LDRs. ***In any zoning district in which single-family dwelling units are permitted, notwithstanding limitations imposed by other provisions of these LDRs****, a single-family dwelling unit and customary accessory buildings may be erected on any single nonconforming lot of record so platted on or before January 5, 1976.*

The subject properties were platted prior to January 5, 1976. Therefore, single-family development is permitted.

Site Design Qualitative Standards

The intent of the City's site design qualitative standards is to minimize negative impacts of development on its neighbors by establishing qualitative requirements for the arrangements of buildings, structures, parking areas, landscaping, and other site improvements. Per Section 23.2-31(d)(5), Buildings, generally:

Look-alike buildings shall not be allowed, unless, in the opinion of the board, there is sufficient separation to preserve the aesthetic character of the present or evolving neighborhood. This is not to be construed to prohibit the duplication of floor plans and exterior treatment in a planned development, where, in the opinion of the board, the aesthetics or the development depend upon, or are enhanced by the look-alike buildings and their relationship to each other.

The request involves the construction of four identical single-family residences that are not part of a planned development application. The repetition of four identical buildings is not in character with the

development patterns of the surrounding neighborhood. The built environment in this area is diverse and building types vary widely in height, massing, exterior finish materials, and architectural styling. The HRPB does have the right to waive this requirement if, in the opinion of the Board, the properties maintain sufficient separation to preserve the character of the neighborhood.

HISTORIC PRESERVATION ANALYSIS

All new construction within a designated historic district shall be visually compatible. New buildings should take their design cues from the surrounding existing structures, using traditional or contemporary design standards and elements that relate to existing structures that surround them and within the historic district as a whole. Building design styles, whether contemporary or traditional, should be visually compatible with the existing structures in the district. Staff issued preliminary design review comments on July 19, 2021, which are included as **Attachment D**. The applicant provided responses to the design review comments and a Justification Statement, provided in this report as **Attachment E**.

Section 23.5-4(k)(3) – Review/Decision

A. In approving or denying applications for certificates of appropriateness for new construction and additions (as applicable), the city shall also, at a minimum, consider the following additional guidelines which help to define visual compatibility in the applicable property's historic district:

(1) The height of proposed buildings shall be visually compatible and in harmony with the height of existing buildings located within the historic district.

Staff Analysis: The height of the proposed buildings is visually compatible and in harmony with the heights of surrounding buildings.

(2) The relationship of the width of the building to the height of the front elevation shall be visually compatible and in harmony with the width and height of the front elevation of existing buildings located within the district.

Staff Analysis: The width and height of the front elevation of the proposed building are in scale with the surrounding properties on 25’ wide parcels.

(3) The openings of any building within a historic district should be visually compatible and in harmony with the openings in buildings of a similar architectural style located within the historic district. The relationship of the width of the windows and doors to the height of the windows and doors in a building shall be visually compatible with buildings within the district.

Staff Analysis: The proposed window openings on the front facades are atypical for the shape of the building. The massing of the front facades is made up of an unbroken wall from the foundation to the top of the gable. The design’s narrow façade and prominent gable most closely resemble the massing of a Frame Vernacular building, which utilized slender vertically oriented windows in a 2:1 proportion. The proposal utilizes wide tri-part corner windows, which are atypical for the style and inconsistent with surrounding buildings.

(4) The relationship of solids to voids in the front facade of a building or structure shall be visually compatible and in harmony with the front facades of historic buildings or structures located within the historic district. A long, unbroken facade in a setting of existing narrow structures can be divided into smaller bays which will complement the visual setting and the streetscape.

Staff Analysis: The elevations generally avoid long expanses of blank façade. The south elevations only feature two window openings, but they are supplemented by two false recesses of the same opening size.

(5) The relationship of a building to open space between it and adjoining buildings shall be visually compatible and in harmony with the relationship between buildings elsewhere within the district.

Staff Analysis: The proposed siting of the buildings is generally appropriate and visually compatible with the spatial relationships found between neighboring and similar buildings throughout the district.

(6) The relationship of entrance and porch projections to sidewalks of a building shall be visually compatible and in harmony with the prevalent architectural styles of entrances and porch projections on buildings and structures within the district.

Staff Analysis: The proposed design utilizes recessed entryways that are visible from North L Street. The recessed entryways are connected to the public sidewalk via a paver walkway. The entryway is proposed as a transparent corner on the southeast edges of the building, featuring a corner floor to ceiling window, a full-view glazed door, and a full height sidelight.

(7) The relationship of the materials, texture and color of the façade of a building shall be visually compatible and in harmony with the predominant materials used in the buildings and structures of a similar style located within the historic district.

Staff Analysis: The building will be constructed of concrete block and finished with smooth stucco and a dimensional asphalt shingle roof. These materials are generally appropriate and found throughout the historic districts.

(8) The roof shape of a building or structure shall be visually compatible and in harmony with the roof shape of buildings or structures of a similar architectural style located within the Northeast Lucerne Local Historic District.

Staff Analysis: The proposed roof shape is not compatible with the architectural design of the building. Per staff's analysis and the project architect's Justification Statement, the design utilizes common design traits from the Streamline Moderne architectural style, such as corner windows, overhanging eyebrows, and horizontal detailing around the recessed porch. Streamline Moderne

buildings utilized flat roofs almost exclusively. See the Historic Preservation Design Guidelines Analysis for a more detailed examination.

(9) Appurtenances of a building, such as walls, wrought iron, fences, evergreen, landscape masses and building facades, shall, if necessary, form cohesive walls of enclosures along a street to insure visual compatibility of the building to the buildings and places to which it is visually related.

Staff Analysis: The site plan includes aluminum perimeter fencing with a masonry gate surrounds along North L Street. The design is generally compatible and complimentary to the surrounding environment.

(10)The size and mass of a building in relation to open spaces, the windows, door openings, porches and balconies shall be visually compatible and in harmony with the buildings and places to which it is visually related.

Staff Analysis: The size and mass of the buildings are generally appropriate for the surrounding neighborhood.

(11)A building shall be visually compatible and in harmony with the buildings and places to which it is visually related in its directional character: vertical, horizontal or non-directional.

Staff Analysis: The proposal includes four (4) identical buildings placed along North L Street on 25' wide lots. The repetition of the buildings is atypical for the development patterns of the neighborhood, which features a broad array of architectural styles, building materials, and site plans. Staff has concerns that the cluster of identical buildings will draw unnecessary prominence to the grouping, while new construction within historic districts should seek to blend into the surrounding environment.

(12)The architectural style of a building shall be visually compatible with other buildings to which it is related in the historic district, but does not necessarily have to be in the same style of buildings in the district. New construction or additions to a building are encouraged to be appropriate to the style of the period in which it is created and not attempt to create a false sense of history.

Staff Analysis: The design of the structures hybridizes architectural styles; mainly the massing and roof type of a Frame Vernacular, mixed with the exterior finish material, fenestration, and detailing of a Streamline Moderne building. Staff recommends that buildings be designed true to a style, while also not attempting to replicate an existing building.

(13)In considering applications for certificates of appropriateness to install mechanical systems which affect the exterior of a building or structure visible from a public right-of-way, the following criteria shall be considered:

(a) Retain and repair, where possible, historic mechanical systems in their original location, where possible.

Staff Analysis: This requirement is not applicable to the new construction project on a vacant property.

(b) New mechanical systems shall be placed on secondary facades only and shall not be placed on, nor be visible from, primary facades.

Staff Analysis: Staff will condition the project so that all mechanical equipment be located within the back yard and outside of required setbacks.

(c) New mechanical systems shall not damage, destroy or compromise the physical integrity of the structure and shall be installed so as to cause the least damage, invasion or visual obstruction to the structure's building materials, or to its significant historic, cultural or architectural features.

Staff Analysis: This requirement is not applicable to the new construction project on a vacant property.

(14) The site should take into account the compatibility of landscaping, parking facilities, utility and service areas, walkways and appurtenances. These should be designated with the overall environment in mind and should be in keeping visually with related buildings and structures.

Staff Analysis: The proposed new construction project is generally consistent with all site data requirements in the City's Zoning Code. The proposed site design, including off-street parking, fencing, gates, and walkways are generally compatible with the surrounding neighborhood. If approved by the Board, staff has included a condition that the impermeable surface calculations be revised at permitting for compliance with the LDRs.

B. In considering certificates of appropriateness for new buildings or structures, which will have more than one primary facade, such as those on corner lots facing more than one street, the HRPB shall apply the visual compatibility standards to each primary facade.

Staff Analysis: The visual compatibility standards have only been applied to portions that will be visible from North L Street.

Historic Preservation Design Guidelines (Streamline Moderne Architectural Style)

Each historic district in Lake Worth Beach is made of many architectural styles. These buildings and homes were built over time, with different hands, and in a manner or style that was in favor at the time. The historic districts of Lake Worth Beach are authentic and showcase a diversity of architectural styles. New construction within the districts should take the primary styles into consideration when contemplating

the design of a new building. While it is understood that new buildings will not be built exactly the same way their historic neighbors were, there should be a conscious effort to be compatible with and take inspiration from the historic fabric. The Lake Worth Beach Historic Preservation Design Guidelines (LWBHPDG) chapter on Streamline Moderne architecture is included as **Attachment F**, and the chapter on considerations for New Construction is provided as **Attachment G**.

Streamline Moderne Architectural Style:

The simplified appearance of Streamline Moderne architecture was a response to the constraints of the Great Depression in the 1920's and 1930's. Buildings became more austere in terms of ornament, but the style embraced the materials of the era and the mantra that "form follows function". This style was designed to emphasize simple geometry and incorporated curvilinear forms and long horizontal lines. Occasionally, nautical elements such as rooftop railings, porthole windows, and anodized metal detailing were utilized.

Per the LWBHPDG, buildings of the Streamline Moderne style were generally one or two stories and utilized smooth stucco walls with rounded corners, horizontal detailing, and rounded corners. For windows; porthole, casement, and fixed pane windows were the most common, with some windows wrapping the corners of the building. The buildings generally sit on a raised masonry or slab foundation, and utilized flat roofs almost exclusively.

Staff Analysis: The current proposal features many of the design traits associated with Streamline Moderne architecture, including corner fixed and casement windows, horizontal eyebrows and channel detailing around the entryway, and a smooth stucco exterior finish. Staff's primary concerns come from the gable roofline, which is atypical for the style, as flat roofs are most compatible. The mixing of architectural detailing and massing elements is dissuaded in the Design Guidelines, as explained in the section below.

New Construction:

Per the LWBHPDG pg. 216; *"New construction can be designed utilizing the architectural language of one of the 10 defined primary styles, or an alternative yet compatible style. It is very important that new construction not hybridize the styles, borrowing pieces from one and another. This approach creates confusion and dilutes the intrinsic value of the historic structures and styles. The best approach is to choose one style of architecture, and to design a structure that utilizes the common characteristics, proportions, and materials of that style."*

Per the LWBHPDG pg. 218; "*When building a new structure within a historic district, the owner should consider the variety of historic styles in Lake Worth beach, choose one, and design a structure consistent with the details provided in this guide."*

Staff Analysis: The building's prominent gable roofline is most commonly associated with the design of City's collection of 1920's Frame Vernacular cottages, which feature wood clapboard siding, vertically oriented windows, and slender rectilinear plans. Building's that primarily utilize architectural materials and design elements of a particular architecture should also utilize the roof type most compatible with

that style. As such, staff recommends that the gable rooflines be changed to flat roofs with short parapets with minimal detailing.

Staff also has concerns that the repetition of four identical buildings will detract from the varied and diverse development patterns of the streetscape and surrounding historic district. While structures from similar architectural styles share design elements, such as roof shapes, window proportions, and porch arrangements, it is rare that independent neighboring structures are identical. New construction within historic districts should seek to blend in with their surroundings as historic districts are intended to preserve, showcase, and promote historic buildings. While new construction and alterations to buildings should always be carefully promoted, development within Lake Worth Beach's historic districts should embrace and enhance the eclectic, diverse, and wide-ranging architectural environment. Staff contends that the construction of four identical structures is not in keeping with the surrounding built environment.

PUBLIC COMMENT:
At the time of publication of the agenda, staff has received not received written public comment.

CONCLUSION:
Staff recommends denial of the application as the proposed roof design of the new single-family structures is not consistent with the Streamline Moderne architectural style and the Historic Preservation Design Guidelines criteria for new construction. In addition, the repetition of four (4) identical residences is not compatible with the development history within the City's historic districts. The item may be continued, at the Board's discretion, to facilitate the redesign of four (4) unique residences that are consistent with the development patterns of the surrounding district.

Should the Board consider approving the request, Staff recommends that the rooflines be altered to flat roofs with short parapets that are more in keeping with the Streamline Moderne architectural style. Staff has included additional conditions of approval for further visual compatibility, provided below for the Board's consideration.

Conditions of Approval
1) Prior to obtaining building permits, all four parcels shall be assigned parcel control numbers (PCNs) by the Palm Beach County Property Appraiser.
2) Prior to obtaining building permits, the four parcels shall be assigned addresses by the City of Lake Worth Beach.
3) All proposed exterior entry doors shall be compatible with the Streamline Moderne architectural style, and shall be subject to Staff review at permitting.
4) The doors may utilize clear glass, frosted, obscure glass, or glass with a Low-E coating (60% minimum VLT). Tinted, highly reflective, grey, colored, etched, or leaded glass shall not be used.
5) The windows shall be recessed a minimum of two inches (2") in the wall, and shall not be installed flush with the exterior wall.
6) The windows shall utilize glazing that is clear, non-reflective, and without tint. Low-E (low emissivity) is allowed but the glass shall have a minimum 60% visible light transmittance (VLT) measured from the center of glazing. Glass tints or any other glass treatments shall not be combined with the Low-E coating to further diminish the VLT of the glass.

7) The corner windows on the northeast corner of the structures shall be joined with a metal structural mull and not out of a masonry column.
8) The windows shall utilize white or clear anodized frames.
9) The stucco texture shall be smooth, as proposed.
10) All improved surfaces shall be setback a minimum of 1'-0" from property lines to allow for adequate water runoff within the property boundary.
11) All mechanical equipment shall be located to the rear of the property and outside of required setbacks.
12) All fencing and gate locations, heights, and materials shall be reviewed by staff at permitting. Staff recommends horizontal fencing as opposed to the vertical slat aluminum fencing.
13) The roof type shall be altered from a gable configuration to a flat roof with a short parapet, subject to staff review at permitting.
14) A sample piece of the faux wood planks proposed for the entryway detail and the site wall shall be submitted to staff at permitting. Staff recommends planks with a minimum one inch (1") depth to provide for adaquate shadow lines.
15) All impermeable surface calculations shall be revised for compliance with LDR Section 23.3-10, subject to staff review at permitting.

POTENTIAL MOTION:

I MOVE TO **APPROVE** HRPB Project Number 21-00100250 with staff recommended conditions for a Certificate of Appropriateness (COA) for the construction of four (4) new ± 1,489 square foot single-family structures at **307 North L Street,** based upon the competent substantial evidence in the staff report and pursuant to the City of Lake Worth Beach Land Development Regulations and Historic Preservation requirements.

I MOVE TO **DENY** HRPB Project Number 21-00100250 for a Certificate of Appropriateness (COA) the construction of four (4) new ± 1,489 square foot single-family structures at **307 North L Street,** because the Applicant has not established by competent substantial evidence that the application complies with the City of Lake Worth Beach Land Development Regulation and Historic Preservation requirements.

ATTACHMENTS:

A. Property File Documentation
B. Current Photos
C. Proposed Architectural Plans
D. Staff Review Comments (Issued 7-19-2021)
E. Applicant Justification Statement and Staff Review Responses
F. LWBHPDG Streamline Moderne
G. LWBHPDG New Construction Considerations

DEPARTMENT FOR COMMUNITY SUSTAINABILITY
Planning Zoning Historic Preservation Division
1900 2ND Avenue North
Lake Worth Beach, FL 33461
561-586-1687

ATTACHMENT A – PROPERTY FILE DOCUMENTATION

MEMORANDUM DATE: September 1, 2021

AGENDA DATE: September 8, 2021

TO: Chair and Members of the Historic Resources Preservation Board

RE: **307 North L Street**

FROM: Jordan Hodges, Senior Preservation Coordinator
Abraham Fogel, Preservation Planner
Department for Community Sustainability

TITLE: **HRPB Project Number 21-00100250:** Consideration of a Certificate of Appropriateness (COA) for the construction of four (4) new ± 1,489 square foot single-family structures on Lots 27, 28, 29, and 30 of Block 90 at **307 North L Street**; PCN #38-43-44-21-15-090-0270. The subject property is located in the Low-Density Multi-Family Residential (MF-20) zoning district and the Northeast Lucerne Local Historic District.

CITY OF LAKE WORTH, FLORIDA

ADDRESS 307 North L Street.

SEC.	TWP.	RGE.

Georgia De-Tuerk
~~A. J. Sisson Estate~~
~~Dr. J. K. Dolweb~~

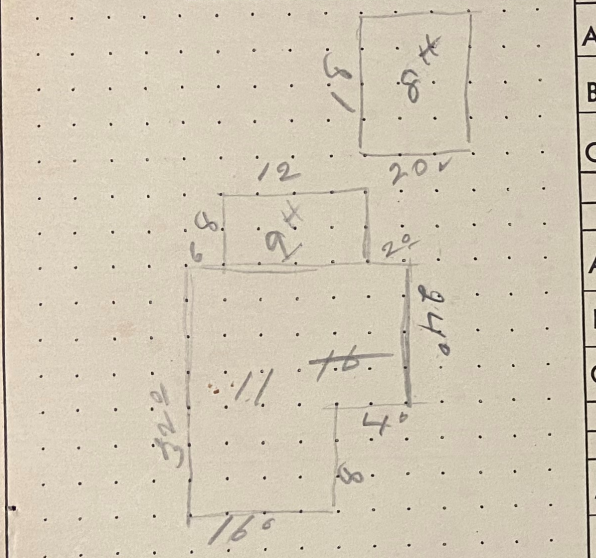
Lot 29 Block 90 Townsite

	KIND OF STRUCTURE	CONSTRUCTION	USE	Cond.	Class	Type
A	Res	Frame	1 F	A		
B	GARAGE	"	GARAGE			
C						

EXTERIOR FEATURES

	Foundation	Basement	EXTERIOR WALLS	ROOF TYPE	ROOF MATERIAL	EXT. FINISH	WINDOWS DOORS	PORCHES
A	Piers GRADE COND.	GRADE COND.	wood GRADE COND. A	gable GRADE COND. A	corr GRADE COND. P	Paint GRADE COND. A	Wood GRADE COND. A	GRADE COND.
B	Piers GRADE COND.	GRADE COND.	metal GRADE COND. P	Flat GRADE COND. P	comp GRADE COND. P	GRADE COND. P	GRADE COND. P	GRADE COND.
C	GRADE COND.	GRADE COND.	GRADE COND.	GRADE COND.	GRADE COND.	GRADE COND.	GRADE COND.	GRADE COND.

DIAGRAM OF STRUCTURES



INTERIOR FEATURES

	Floor Type	Floor Material	INTERIOR WALLS	FINISH	TRIM	ATTIC
A	S Double-Single GRADE COND.	Pine GRADE COND.	Plaster GRADE COND. A	PAINT GRADE COND. A	Wood GRADE COND. A	UNF. FIN. NO. ROOMS
B	Double-Single GRADE COND.	GRADE COND.	GRADE COND.	GRADE COND.	GRADE COND.	UNF. FIN. NO. ROOMS
C	Double-Single GRADE COND.	GRADE COND.	GRADE COND.	GRADE COND.	GRADE COND.	UNF. FIN. NO. ROOMS

INTERIOR FEATURES

	PLUMBING TYPE	PLUMB. FIXTURES	HEATING	LIGHTING
A	Com GRADE COND.	NO. Com GRADE COND. 4	Floor Furn GRADE COND.	NO. FIXT'S. GRADE COND. 6
B	Com GRADE COND.	NO. Com GRADE COND.	Com GRADE COND.	NO. FIXT'S. GRADE COND. Com
C	GRADE COND.	NO. GRADE COND.	GRADE COND.	NO. FIXT'S. GRADE COND.

EQUIPMENT	A	B	C
ELEVATORS			
SPRINKLER SYS.			
SOLAR HEATER			
LAUNDRY TRAYS			
Air Conditioning			
STORM SHUTTERS			
INSULATED WALLS			
INSULATED ROOF			
GUTTER & Dn.-Spout			
TYPE OF WIRING	D		
REFRIGERATION	2		
INDOOR BEDS			
SCREENED	✓		

BUILDING COMPUTATIONS

No.	SIZES	SQ. FT.	HT.	CU. F.	Rate	COST	% COND	AMOUNT
A	8X16	128	11	1408				
	24X20	480	11	5280				
	8X1½	48	9	432				
				7120	22	1560		1070
B	18X20	360	8	2880	16	280		
						1840	60	

ROOMS

LIVING	1		
DINING	1		
KITCHEN	1		
BED	2		
BATH	1		

UNITS

STORES				
OFFICES				
APARTMENTS				
GARAGES				

FIELDED BY: DATE

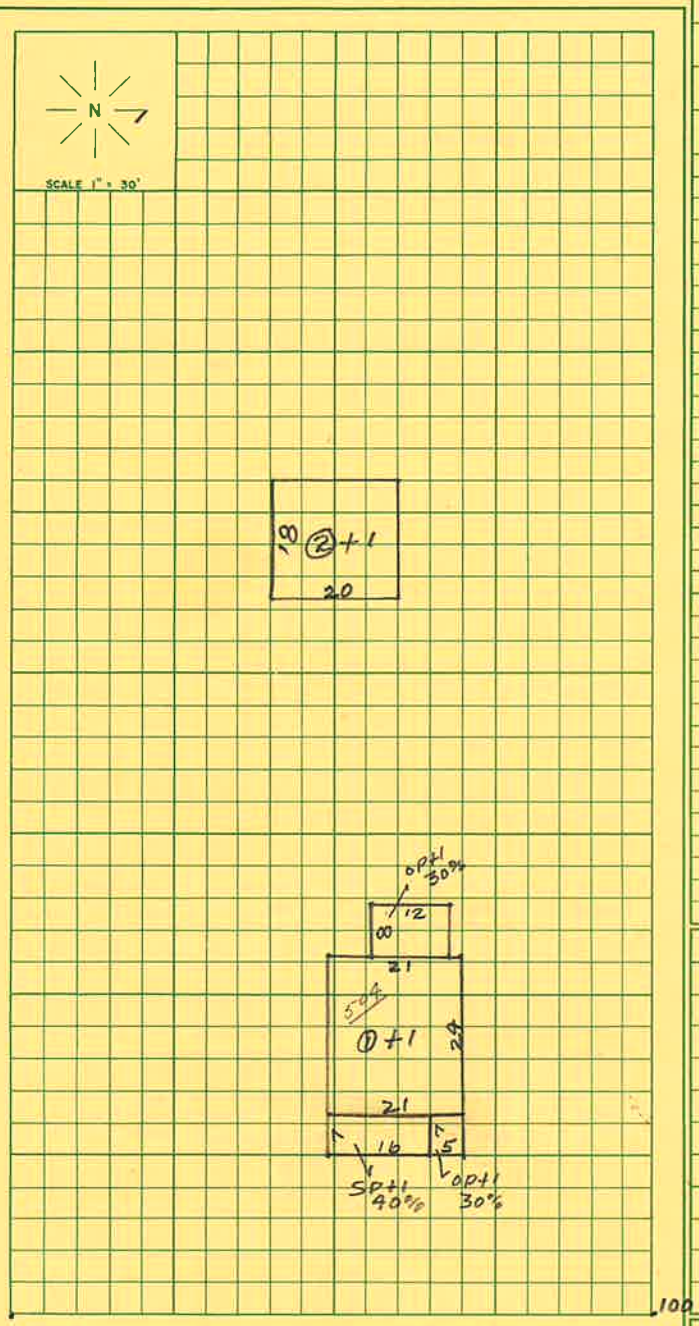
APPRAISED BY CAD DATE

PHOTO A

PHOTO B

	STORIES	FLOORS	HT. IN FT.	YR. BUILT	YEAR REMODELED	ORIGINAL COST	ADDED COST	EST. LIFE	RATE NEW	Physical Deterioration	Obsolescence	Total Depreciation	% CONDITION
A	1	1	8½	29									
B	1	1	8										
C													

RESIDENTIAL
PROPERTY RECORD CARD
LAKE WORTH, FLORIDA



307 No. L ST.
PROPERTY ADDRESS

PLOTTED	✓	DRAWN BY H.E.B.	DATE 1-20-56
RANDOM		CLASSED BY	DATE

HUNNICUTT AND ASSOCIATES, VALUATION ENGINEERS AND CONSULTANTS. STANDARD RPRC-1

CONSTRUCTION DATA

BUILDING	1	2	3	4
1. RES.				
2. GAR				
3.				
4.				
SUB-STRUCTURE				
Slab				
Piers	o	o		
Continuous Wall				
Conc. Bsmt. Floor				
Semifinished Bsmt				
Bsmt. Living Qts.				
WALL FRAME				
Wood	o	o		
Conc. Block				
Tile				
Brick				
Stone				
Rf. Concrete				
SHEATHING				
Yes				
None	o	o		
EXTERIOR WALLS				
Unfinished				
Wood	o			
Roll				
Sheet		o		
Shingles				
Composition				
Metal		o		
Asbestos				
Stucco				
Com. Brick				
Face Brick				
Stone				
Notes				

BUILDING	1	2	3	4
ROOF				
Flat				
Shed		o		
Gable	o			
Hip				
Gambrel				
Roll	o			
Sheet				
Shingles				
Composition	o			
Metal				
Wood				
Asbestos				
Tile				
Slate				
Notes				
FLOORS				
Dirt		o		
Single	o			
Double				
Pine	o			
Hardwood				
Concrete				
Tile				
Terrazzo				
Notes				
INTERIOR WALLS				
Unfinished		o		
Wall Board				
Ceiling				
Plaster	o			
Panel Board				
Plywood				
Pine Panel				
Hardwood Pan.				
Notes				
FURRING				
Yes				
None	o	o		

BUILDING	1	2	3	4
ROOMS				
Res. Rooms	4			
Rental Units				
Efficiency Apts.				
___ Rm. Apts.				
___ Rm. Apts.				
Notes				
PLUMBING				
None				
1 Fixture Toilet				
2 Fixture Toilet				
2 Fixture Bath				
3 Fixture Bath	1			
4 Fixture Bath				
Tile Floor				
1/2 Tile Walls				
Full Tile Walls				
Notes				
HEATING				
None		o		
Chimney	o			
Fireplace	o			
Steam				
Hot Water				
Forced Hot Air				
Hot Air				
ELECTRICITY				
Yes	o			
None		o		
EQUIPMENT				
Vent. Fan				
Air Condition				
Insulation				
Notes				

CARDS	MAP NO.	SEC.	TWP.	RNG.	PARCEL NO.
1/1	19/4	22	44	43	19

SUBDIVISION	BLOCK
TOWNSITE	90

LOTS OR DESCRIPTION: # 27-30

NOTES

N.O.H

NO.	STYS.	SH.	CLASS	AREA	RATE	FLATS	REPL. COST	DATE BUILT	COND.	ADJ.	VALUE
1	1	S	R-3	588	3 38		1987	1925	45		890
2	1	S	C	360	45		162	1925	20		30

ACRES	QUANTITY – TYPE DESCRIPTION	DIMENSIONS SQUARE FEET	UNIT PRICE	D.F.	C.F.	PRICE PER FRONT FOOT	VALUE
		100 x 135	50 -	1 -		50 -	5000

YEAR	VALUE 19 56	VALUE 19 66	VALUE 19	VALUE 19	VALUE 19	VALUE 19
LAND	4000	5000				
IMPRS.	1840	2300				
TOTAL	5840	7300				

7300

MISCELLANEOUS PERMIT

CITY OF LAKE WORTH
INSPECTION DEPARTMENT

№ 1728 C

DATE 8/23/76

OWNER PAUL R. DE TUERK

ADDRESS 307 No. L ST.

LOT 27-30 BLOCK 90 ADDITION TWN.

CONTRACTOR owners LICENSE NO.

FIRE DIST. NO. ZONE TYPE OCCUPANCY Garage

VALUE $ DEMOHSH FEE $ 10.00

REMARKS:

Demolish old GARAGE BLDG. at rear of LOT.

(Posted as Dangerous Bldg. on 7/2/76)

CITY OF LAKE WORTH BUILDING & ZONING DEPARTMENT
MISCELLANEOUS PERMIT
PERMIT DESK 586-1691
BUILDING INSPECTOR 586-1650

PERMIT # 90-03000
B #

DATE 12/06/90

Job Location:307 N L ST

Lot: 27-30 Block: 090 Subdivision: TOWN OF LAKE WORTH

Parcel Control # 434421150900270 Occupancy Type 01

Owner Name: DE TUERK PAUL R & VIOLA Phone # ( ) -

Contractor Name: THOMAS E GOODING DEMO INC

Contractor Lic. # U15798 Phone # (407)642-3366

Valuation: .00 Radon Tax: Fee Paid: 25.00

CODE CASE # _____ (ATTACH COPY)

WORK DESCRIP:DEMOLISH 1 STORY SINGLE FAMILY WOOD FRAME STRUCTURE

In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this County. Section 553.79 (10) Florida Statues

In accordance with 553.79, F.S., this is to advise you of the owner's or operator's responsibility to comply with asbestos regulations including Section 455.302 F.S., and 40 CFR Part 61 NESHAP regulations, including notification requirements for demolition/renovation projects. Contact the Palm Beach County Public Health Unit Asbestos Coordinator for further information at 355-3070.

In consideration of the granting of this permit, it is agreed that in all respects the work will be performed and completed in accordance with the permitted plans and the applicable codes for the City of Lake Worth. This permit may be revoked at any time upon the violation of any of the upon the violation of any of the provisions of said laws, ordinances or rules and regulations or upon any change in the plans and specificatons unauthorized by this department. Permit void if work is not commenced within 6 months from date of issue, or if work is suspended or abandoned for 6 months.

Final inspection mandatory, 24 hr notice is required for all inspections. Contractor/Owner shall be responsible for removal of construction waste.

Contractor/Owner Signature Thomas E Gooding Date 12-6-90

Issued by RM

INSPECTION RECORD

TYPE Final Def DATE 12-13-90

TYPE _____ DATE _____

COMMENTS _____

*** PERMIT TO BE POSTED AT JOB SITE ***

DEPARTMENT FOR COMMUNITY SUSTAINABILITY
Planning Zoning Historic Preservation Division
1900 2ND Avenue North
Lake Worth Beach, FL 33461
561-586-1687

ATTACHMENT B – CURRENT PHOTOS

MEMORANDUM DATE: September 1, 2021

AGENDA DATE: September 8, 2021

TO: Chair and Members of the Historic Resources Preservation Board

RE: **307 North L Street**

FROM: Jordan Hodges, Senior Preservation Coordinator
Abraham Fogel, Preservation Planner
Department for Community Sustainability

TITLE: **HRPB Project Number 21-00100250:** Consideration of a Certificate of Appropriateness (COA) for the construction of four (4) new ± 1,489 square foot single-family structures on Lots 27, 28, 29, and 30 of Block 90 at **307 North L Street**; PCN #38-43-44-21-15-090-0270. The subject property is located in the Low-Density Multi-Family Residential (MF-20) zoning district and the Northeast Lucerne Local Historic District.

NOTICE
This property is being considered for a
HRPB Project # 21-00100
NEW CONSTRUCTION
4 SINGLE FAMILY
RESIDENCES
BLOCK 90 LOTS 27,28,29,30
For information regarding this case call:
City of Lake Worth Beach PZHP
561-586-1687

FOR SALE DEVELOPMENT SITE OPPORTUNITY

Possibility of
2 Single Family Homes
4-6 Modern Townhomes
or 6 Condos w/pool

Call Us -
561.880.7683

Lot Size: .51 Acres
Zoning: MF-20

Double Eagle

NOTICE

This property is being considered for a
HRPB Project # 21-00100250
NEW CONSTRUCTION
4 SINGLE FAMILY
RESIDENCES
BLOCK 90 LOTS 17 18 29 30
For information regarding this case call:
City of Lake Worth Beach P2HP
561-586-1687

DEPARTMENT FOR COMMUNITY SUSTAINABILITY
Planning Zoning Historic Preservation Division
1900 2ND Avenue North
Lake Worth Beach, FL 33461
561-586-1687

ATTACHMENT C – ARCHITECTURAL PLAN SET

MEMORANDUM DATE: September 1, 2021

AGENDA DATE: September 8, 2021

TO: Chair and Members of the Historic Resources Preservation Board

RE: **307 North L Street**

FROM: Jordan Hodges, Senior Preservation Coordinator
Abraham Fogel, Preservation Planner
Department for Community Sustainability

TITLE: **HRPB Project Number 21-00100250:** Consideration of a Certificate of Appropriateness (COA) for the construction of four (4) new ± 1,489 square foot single-family structures on Lots 27, 28, 29, and 30 of Block 90 at **307 North L Street**; PCN #38-43-44-21-15-090-0270. The subject property is located in the Low-Density Multi-Family Residential (MF-20) zoning district and the Northeast Lucerne Local Historic District.

ARCHITECT OF RECORD

ANTONIAZZI ARCHITECTURE INC
25 SE 2nd Ave #319
Miami, FL 33131
786-496-2979

OWNER/DEVELOPER

SUNDREAM DEVELOPMENT LLC
931 VILLAGE BLVD STE 905
WEST PALM BEACH, FL 33409

SHEET INDEX

SHEET NUMBER	SHEET NAME	SHEET STATUS
G-000	COVER	COA
G-001	PROJECT INFORMATION	COA
G-002	NEIGHBORING IMAGES	COA
G-003	AREA DIAGRAM	COA
A-001	SITE PLAN	COA
A-002	CONCEPTUAL LANDSCAPE PLAN	COA
A-100	LEVEL 1 OVERALL PLAN	COA
A-101	ENLARGED PLANS	COA
A-301	ARCHITECTURAL ELEVATIONS	COA
A-501	3D IMAGES	COA
A-502	AXONOMETRIC VIEW	COA

307 NORTH L ST. RESIDENCES

NEW CONSTRUCTION SINGLE FAMILY RESIDENCES
CERTIFICATE OF APPROPRIATENESS SET
07-09-2021

ANTONIAZZI ARCHITECTURE
ANTONIAZZI ARCHITECTURE INC.
340 W. FLAGLER ST #1108
MIAMI FL, 33130
P: 786-496-2979
E: GIORGIO@ANTONIAZZIARCH.COM

307 NORTH L ST. RESIDENCES
307 North L Street
Lake Worth Beach, Fl 33460

COA

ISSUE #	DESCRIPTION	DATE

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G-000

DRAWING NAME: COVER
SCALE:
DATE: 07-09-2021
PROJECT NUMBER: 1914

PROJECT STATISTICS

I. PROJECT INFORMATION

ADDRESS:	307 NORTH L STREET LAKE WORTH, FL 33460 PARCEL 1 - LOT 27 BLOCK 90
PARCEL CONTROL NUMBER:	38434421150900270
LEGAL DESCRIPTION:	TOWN OF LAKE WORTH LTS 27 BLK 90
LOT SIZE:	*3,375 SF*
LOT WIDTH	*25 FT TOTAL*
ALLOWABLE HEIGHT:	*30FT 2 - STORIES*
LAND USE:	Multi-family Residential (20)
ZONING:	*MF-20*
HISTORIC DISTRICT:	NORTHEAST LUCERNE
CONTRIBUTING:	NO

II. BUILDING DISPOSITION

SETBACKS:

PRINCIPLE STRUCTURE:	REQUIRED	PROVIDED
FRONT (WEST)	20'-0"	20'-0"
SIDE (NORTH - SOUTH) (10% OR 3FT MIN)	3'-0"	3'-0"
REAR (EAST) (10% OR 15FT MIN)	13'-6"	35'-7"

BUILDING HEIGHT:	MAX.	PROVIDED
PRINCIPLE STRUCTURE HEIGHT:	30'-0"(2 STORIES)	17'-8" HIGH POINT(1 STORY)
MEDIAN ROOF HEIGHT:		14'-1"
(AVG CROWN ROAD - NGVD)		

BUILDING AREA:	*PROPOSED*
PROPOSED AREA UNDER AIR:	1,489 SF
COVERED AREA:	274 SF
TOTAL (GROSS):	**1,763 SF**
TOTAL UNDER AIR:	**1,489 SF**

MAX FAR: .60	MAX.	PROVIDED
	2,025 SF 60%	1,489 SF 44%

IMPERMEABLE SURFACE MAXIMUM: *SMALL LOT 65% = 2,194 SF*

MAX IMPERMEABLE **OPTION A**:

BUIILDING FOOTPRINT =	1,489 SF 44%
HARDSCAPE =	654 SF 19%
TOTAL PROPOSED =	2,143 SF 64%

BUILDING COVERAGE MAX:	1,519 SF (45%)
PROPOSED BUILDING COVERAGE:	1,489 SF (44%)

I. PROJECT INFORMATION

ADDRESS:	308 NORTH L STREET LAKE WORTH, FL 33460 PARCEL 2 - LOT 28 BLOCK 90
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MAX IMPERMEABLE **OPTION B**:

BUIILDING FOOTPRINT =	1,489 SF 44%
HARDSCAPE =	705 SF 21%
TOTAL PROPOSED =	2,194 SF 65%

BUILDING COVERAGE MAX:	1,519 SF (45%)
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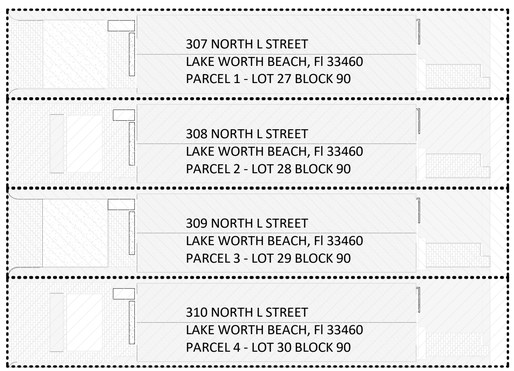
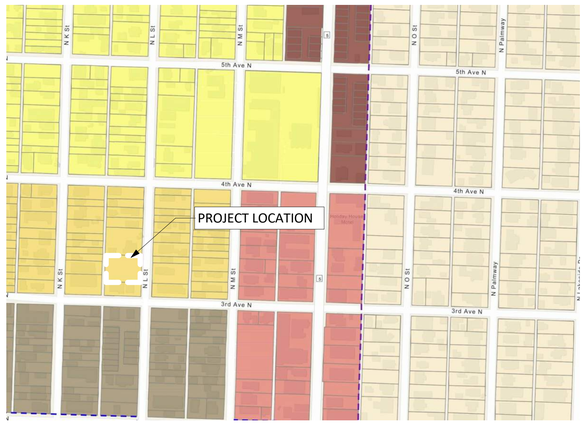


1 KEY PLAN
SCALE: 1" = 20'-0"



ZONING MAP

VICINITY MAP

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ISSUE #	DESCRIPTION	DATE
1	PLANING COMMENTS	08-10-2021

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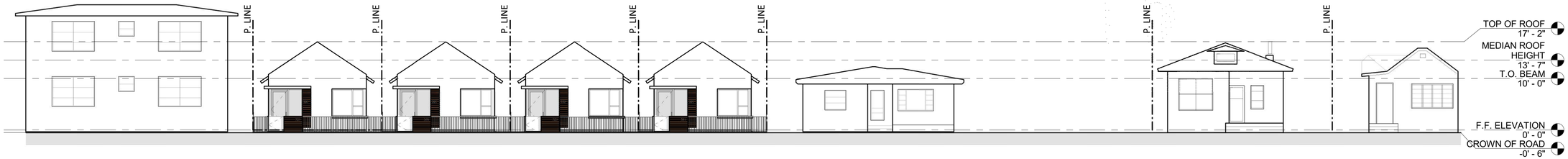
G-001

DRAWING NAME: PROJECT INFORMATION
SCALE: As indicated *DATE:* 07-09-2021
PROJECT NUMBER: 1914



1 CONTEXT ELEVATION
SCALE: 1" = 10'-0"

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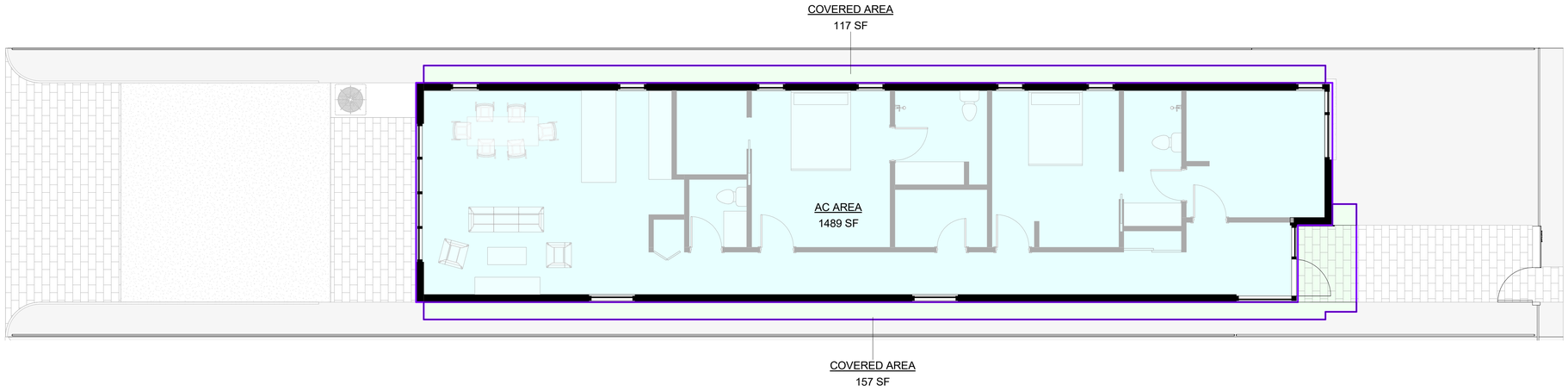
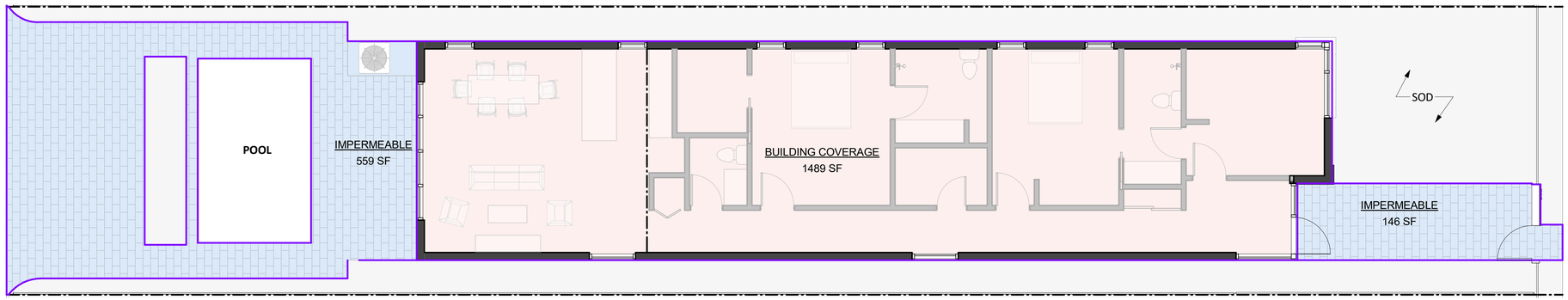
G-002

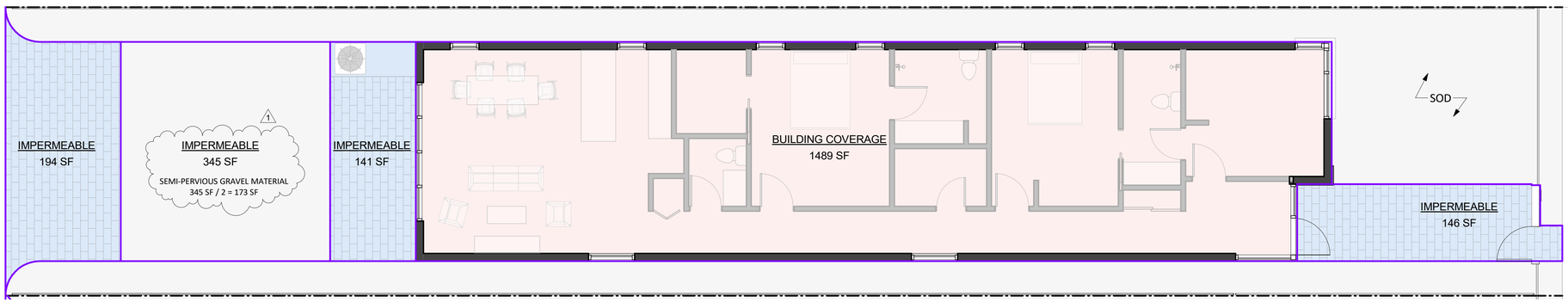
DRAWING NAME: NEIGHBORING IMAGES
SCALE: 1" = 10'-0" DATE: 07-09-2021
PROJECT NUMBER: 1914



3 AREA DIAGRAM
SCALE: 3/16" = 1'-0"



2 COVERAGE DIAGRAM - OPTION B
SCALE: 3/16" = 1'-0"



1 COVERAGE DIAGRAM - OPTION A
SCALE: 3/16" = 1'-0"

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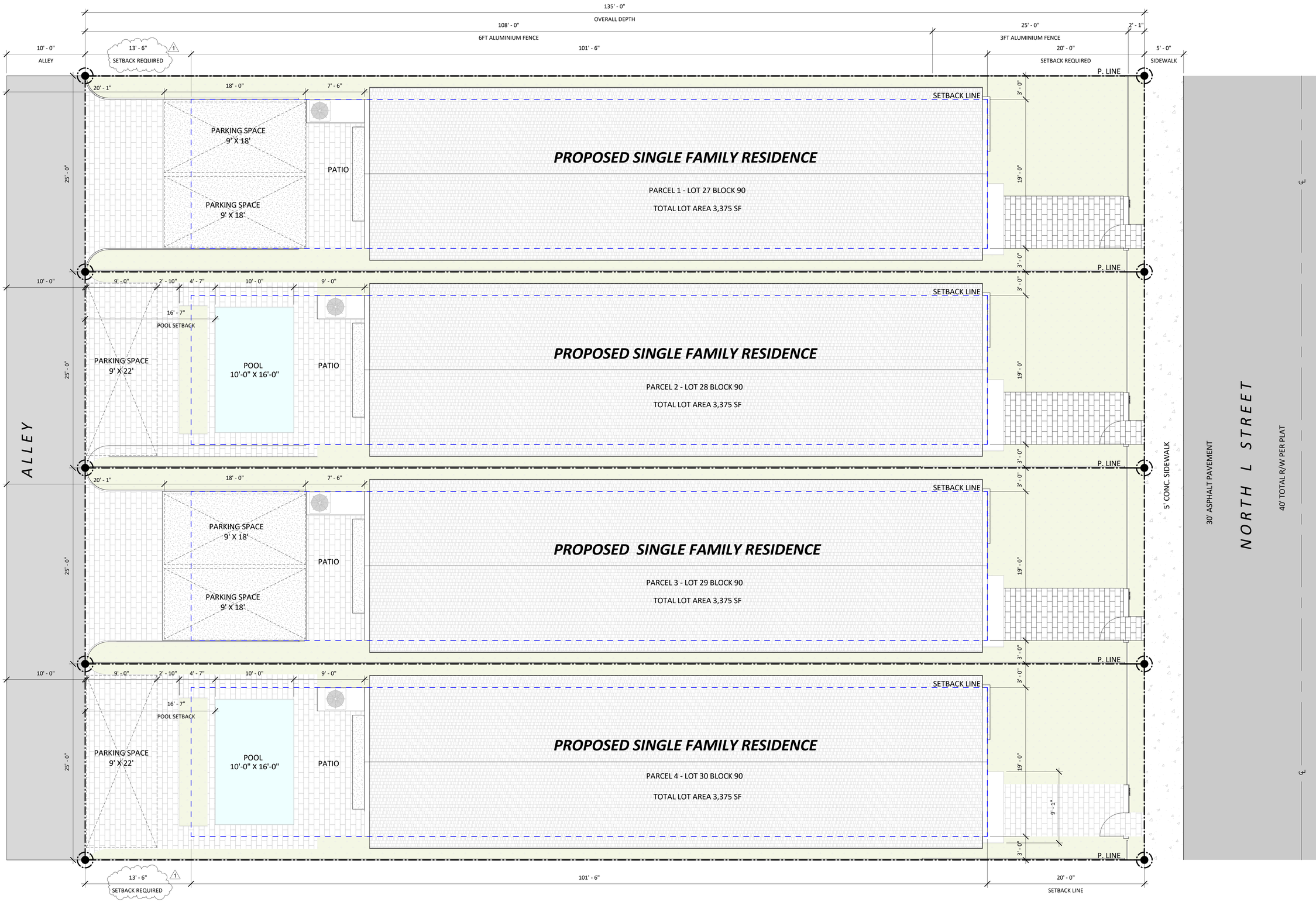
G-003

DRAWING NAME: AREA DIAGRAM
SCALE: 3/16" = 1'-0" DATE: 07-09-2021
PROJECT NUMBER: 1914



1 SITE PLAN
SCALE: 3/16" = 1'-0"

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A-001

DRAWING NAME: SITE PLAN
SCALE: 3/16" = 1'-0" DATE: 07-09-2021
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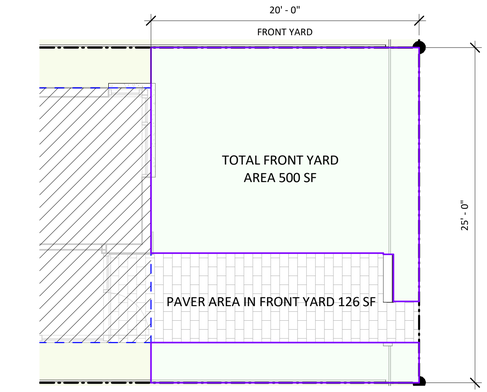
FRONT YARD PERVIOUS AREA

FRONT YARD PERVIOUS	REQUIRED	PROVIDED
	375 SF 75%	374 SF 74.8%



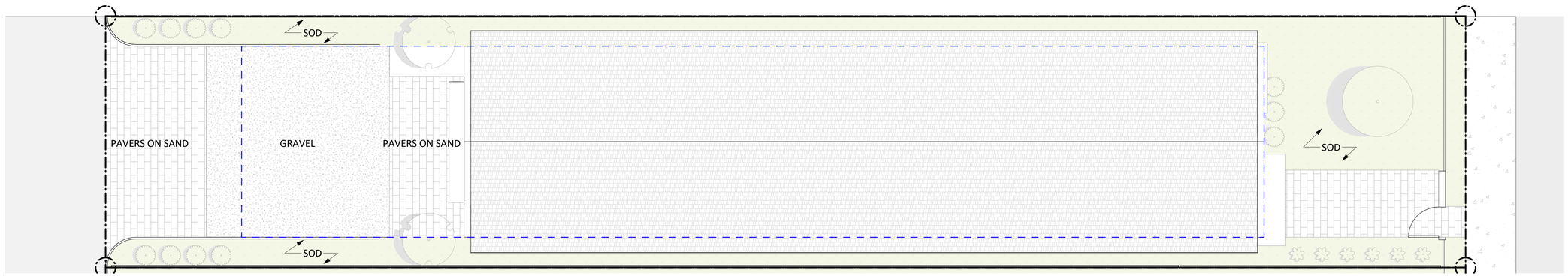
2 FRONT YARD IMPERMEABLE DIAGRAM
SCALE: 3/16" = 1'-0"

LANDSCAPE SCHEDULE

LANDSCAPE POINTS:	REQUIRED	PROVIDED
SMALL LOT AREA < 3,500 SF	50 POINTS	50 POINTS

LANDSCAPE POINT TABLE:	LANDSCAPE POINTS	TOTAL POINTS PROVIDED
LARGE MATURING TREE:	10 POINTS	0 POINTS (0)
MEDIUM MATURING TREE:	7 POINTS	21 POINTS (3)
SHRUB:	2 POINTS	34 POINTS (17)
TOTAL POINTS:		**55 LANDSCAPE POINTS**

NOTES:
- FIFTY (50) PERCENT OF THE LANDSCAPE POINTS MUST BE PLANTED WITHIN THE FRONT YARD AND FIFTY (50) PERCENT OF THE LANDSCAPE POINTS WITHIN THE REMAINING PORTION OF THE LANDSCAPED AREAS.
- THE AREA BETWEEN THE PROPERTY LINE AND THE EDGE OF PAVEMENT OF THE ABUTTING RIGHT-OF-WAY SHALL BE LANDSCAPED, AND PROVIDED WITH IRRIGATION AND MAINTENANCE. ROCK, GRAVEL, CONCRETE OR ASPHALT IS EXPRESSLY PROHIBITED FROM BEING USED IN THE RIGHT-OF-WAY.
- TREE MITIGATION PLAN TO BE PROVIDED AT PERMIT. ANY REMOVED TREES WILL BE REPLACED PER ARTICLE 6.23.6-1



1 LANDSCAPE CONCEPTUAL PLAN
SCALE: 3/16" = 1'-0"

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A-002

DRAWING NAME: CONCEPTUAL LANDSCAPE PLAN
SCALE: As indicated DATE: 07-09-2021
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1 LEVEL 1 - OVERALL PLAN
SCALE: 3/16" = 1'-0"

0" 2' 4' 8'

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A-100

DRAWING NAME: LEVEL 1 OVERALL PLAN
SCALE: 3/16" = 1'-0" DATE: 07-09-2021
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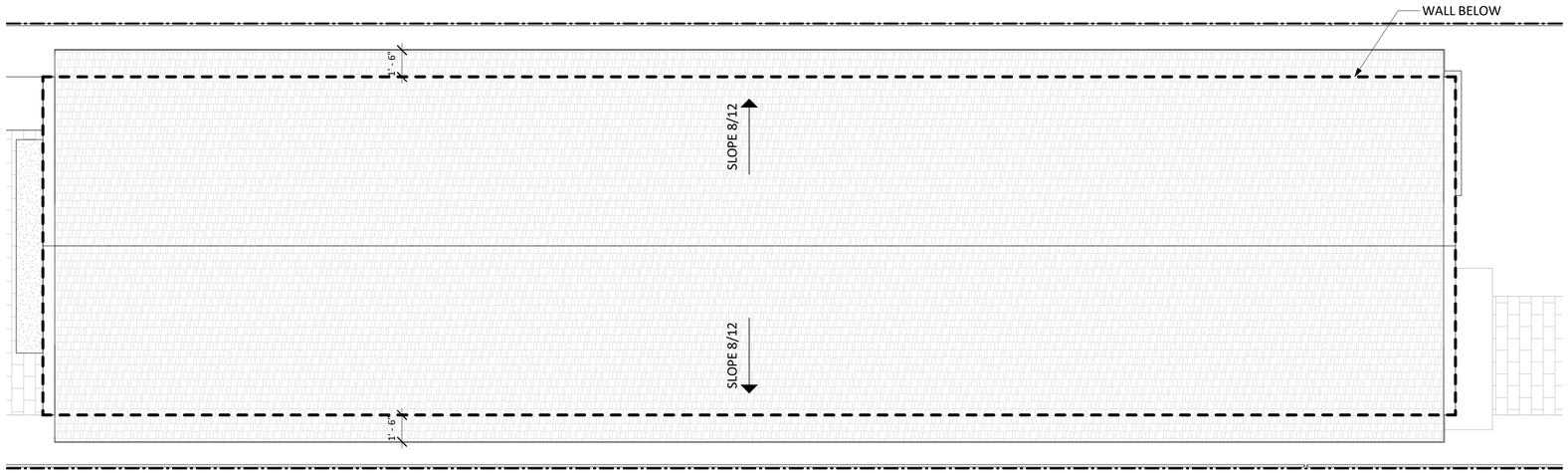
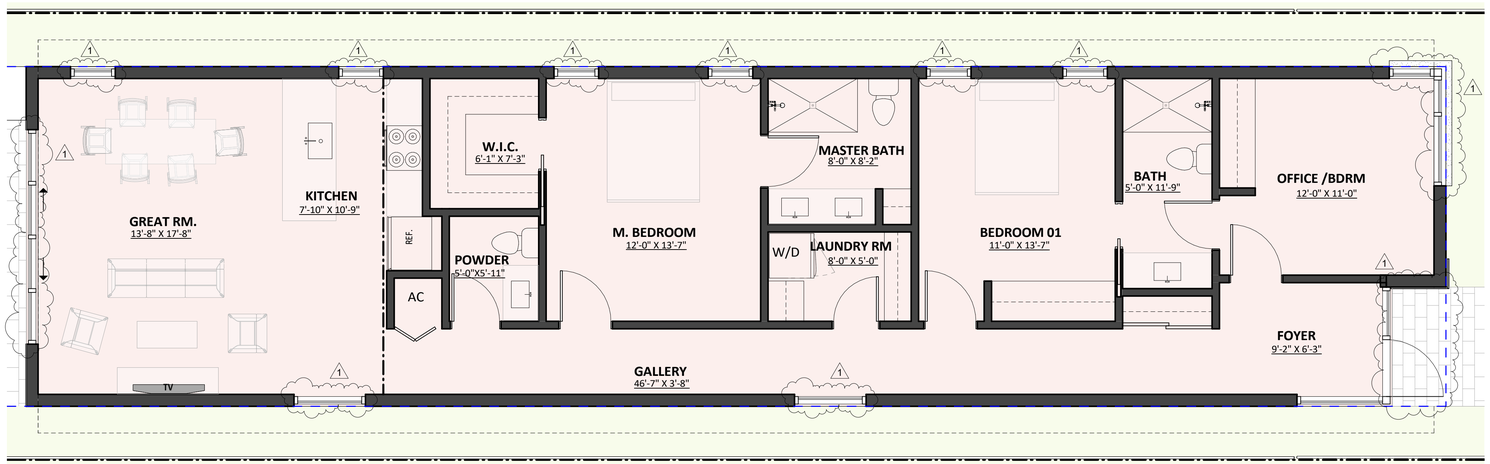


2 ROOF PLAN
SCALE: 1/4" = 1'-0"



1 LEVEL 1 - ENLARGED FLOOR PLAN
SCALE: 1/4" = 1'-0"

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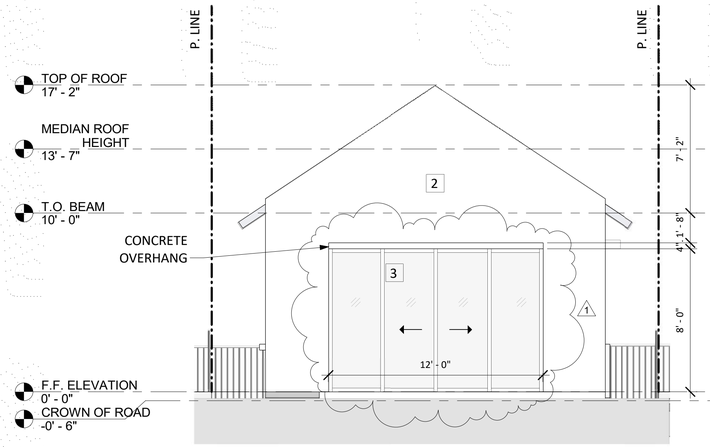
A-101

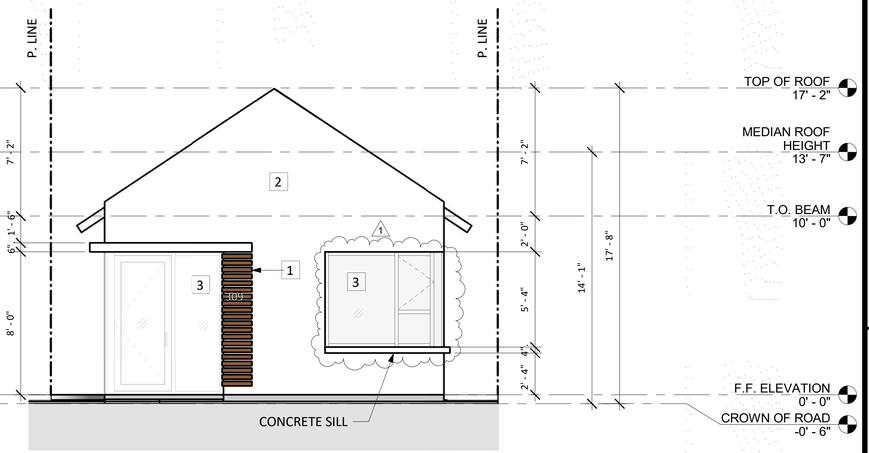
DRAWING NAME: ENLARGED PLANS
SCALE: 1/4" = 1'-0" DATE: 07-09-2021
PROJECT NUMBER: 1914

ELEVATION NOTES

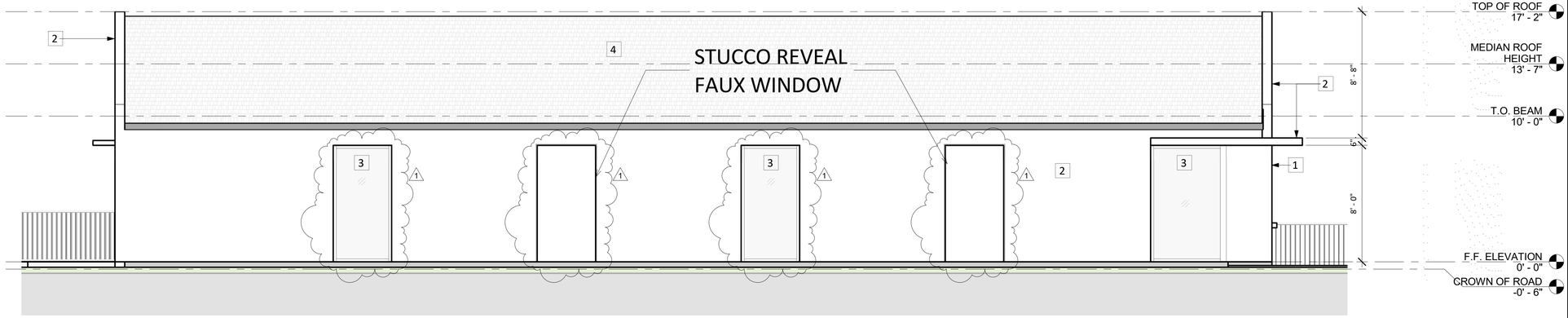
1. FAUX WOOD PLANKS
2. SMOOTH STUCCO
3. ALUM. WINDOW WALL SYSTEM *WHITE
4. ARCHITECTURAL ASPHALT SHINGLE



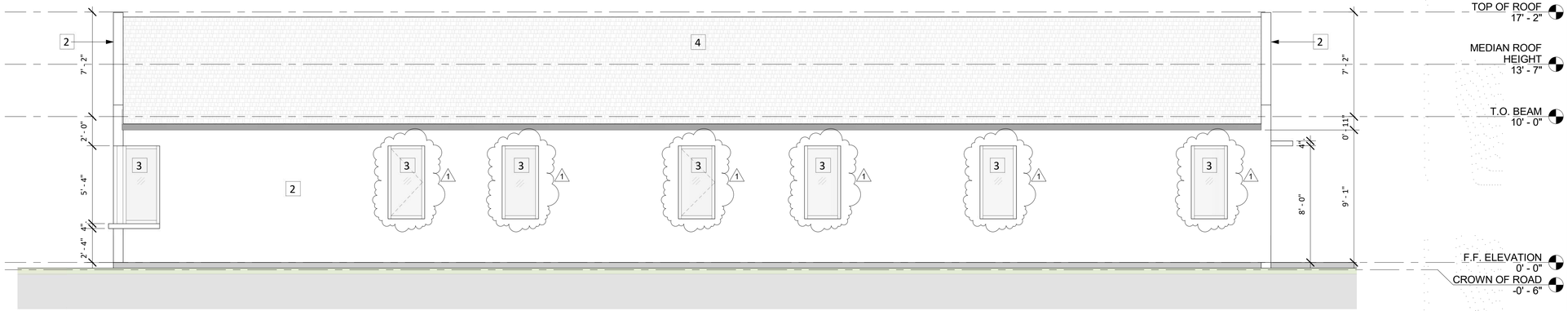
4 WEST ELEVATION
SCALE: 1/4" = 1'-0"



3 EAST ELEVATION
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



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A-301

DRAWING NAME: ARCHITECTURAL ELEVATIONS
SCALE: As indicated
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PROJECT NUMBER: 1914

STREET VIEW

FRONT VIEW 1

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A-501

DRAWING NAME: 3D IMAGES
SCALE:
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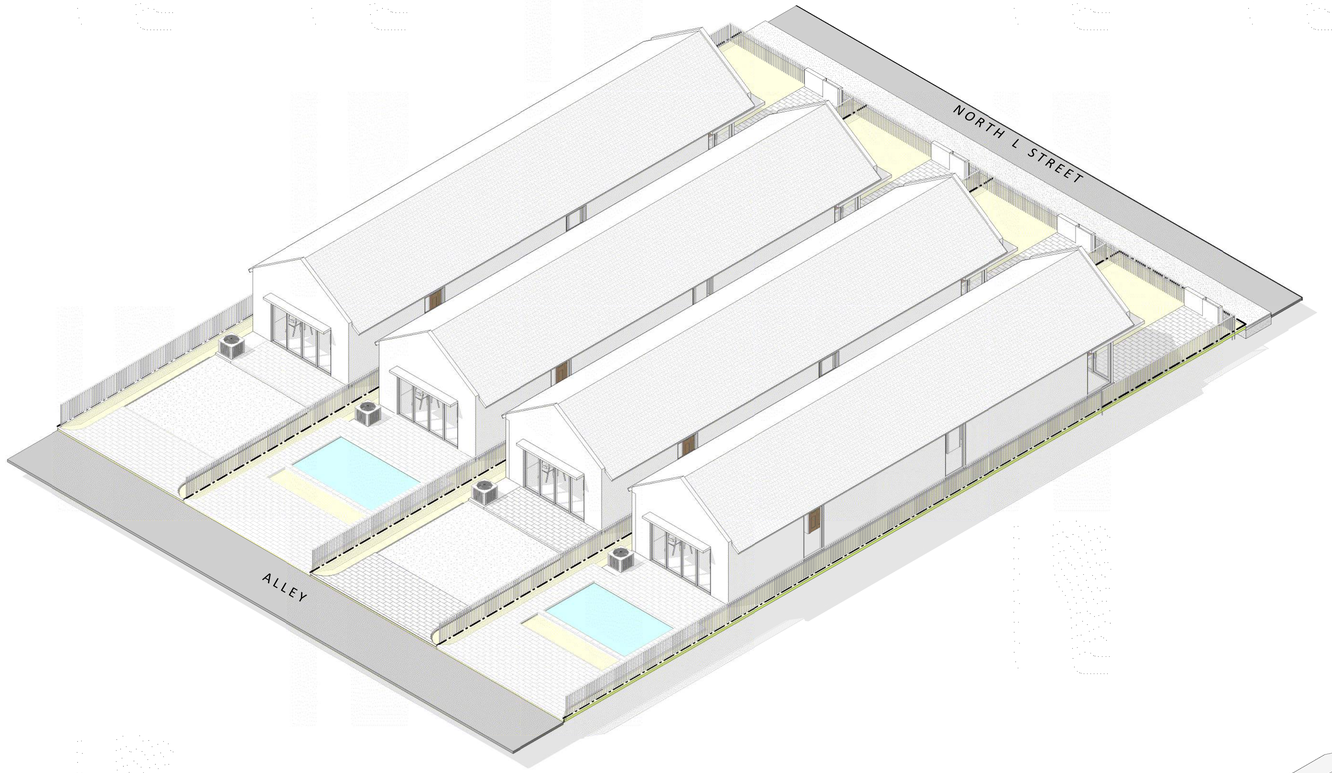
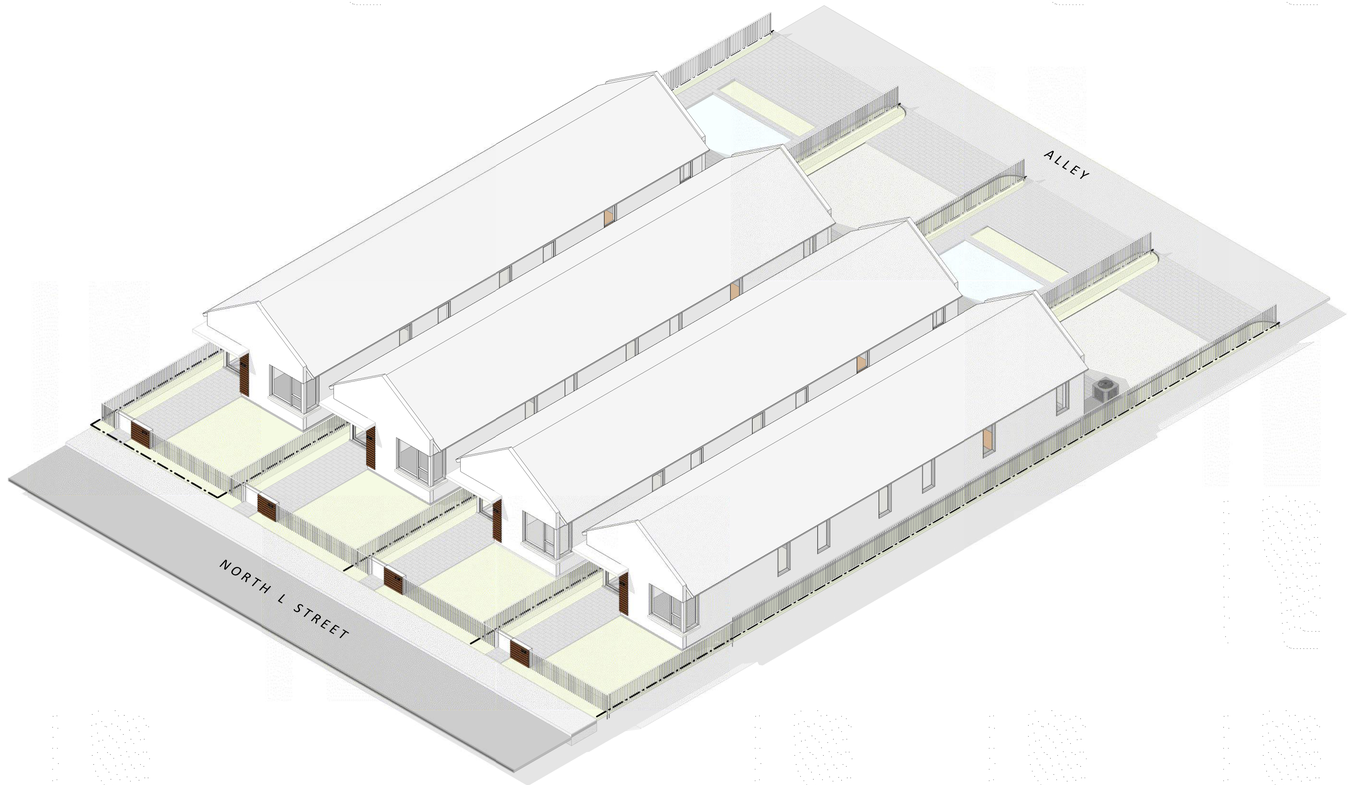
PROJECT NUMBER: 1914



2 AXONOMETRIC REAR VIEW
SCALE:



1 AXONOMETRIC FRONT VIEW
SCALE:

ANTONIAZZI ARCHITECTURE

ANTONIAZZI ARCHITECTURE INC.
340 W. FLAGLER ST #1108
MIAMI FL, 33130
P: 786-496-2979
E: GIORGIO@ANTONIAZZIARCH.COM

307 NORTH L ST. RESIDENCES

307 North L Street
Lake Worth Beach, Fl 33460

COA

ISSUE #	DESCRIPTION	DATE

SEAL:

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A-502

DRAWING NAME: AXONOMETRIC VIEW
SCALE:
DATE: 07-09-2021
PROJECT NUMBER: 1914

DEPARTMENT FOR COMMUNITY SUSTAINABILITY
Planning Zoning Historic Preservation Division
1900 2ND Avenue North
Lake Worth Beach, FL 33461
561-586-1687

ATTACHMENT D – STAFF REVIEW COMMENTS 07.19.2021

MEMORANDUM DATE: September 1, 2021

AGENDA DATE: September 8, 2021

TO: Chair and Members of the Historic Resources Preservation Board

RE: **307 North L Street**

FROM: Jordan Hodges, Senior Preservation Coordinator
Abraham Fogel, Preservation Planner
Department for Community Sustainability

TITLE: **HRPB Project Number 21-00100250:** Consideration of a Certificate of Appropriateness (COA) for the construction of four (4) new ± 1,489 square foot single-family structures on Lots 27, 28, 29, and 30 of Block 90 at **307 North L Street**; PCN #38-43-44-21-15-090-0270. The subject property is located in the Low-Density Multi-Family Residential (MF-20) zoning district and the Northeast Lucerne Local Historic District.

DEPARTMENT FOR COMMUNITY SUSTAINABILITY
Planning Zoning Historic Preservation Division
1900 2ND Avenue North
Lake Worth Beach, FL 33461
561-586-1687

DATE: June 20, 2021

RE: **307 North L Street**
4 New Single-Family Dwellings
Staff Review Comments

FROM: Jordan Hodges, Senior Preservation Coordinator
Abraham Fogel, Preservation Planner
Department for Community Sustainability

Zoning and Historic Preservation Review
Jordan Hodges | 561-586-1703 | jhodges@lakeworthbeachfl.gov
Abraham Fogel | 561-586-1690 | afogel@lakeworthbeachfl.gov

- Site Plan and Project Statistics
  - FAR
    - Move FAR from Project Information to Building Disposition and provide calculations.
    - Max Far is provided at .50, whereas .60 is allowed for lots up to 4,999 sq. ft.
  - Historic District
    - Under project information, add Northeast Lucerne as the historic district instead of "yes".
  - Front Setback
    - Front porch slab/stairs shall not encroach into front 20'-0" front setback. Please revise.
  - Rear Setback
    - The minimum required rear setback is 13'-6" (10% of lot depth).
  - Front Yard Impermeable
    - Add a calculation for Front Yard Impermeable
      - "Provided however that the lesser of nine hundred (900) square feet or seventy-five (75) percent of the front yard area shall remain pervious and be landscaped."
        - Front yard area: 25'x20' = 500 sf.
  - Impermeable Surface
    - Site Plan "Option A" utilizes a gravel parking pad. Gravel is considered a semi-pervious material. For semi-pervious surfaces, two (2) square feet of semi-pervious surface shall be equivalent to one (1) square foot of impervious surface for the purpose of calculating impermeable surface totals. Please revise the building disposition calculations.
    - The pavers utilized on both "Option A" and "Option B" may be considered semi-pervious if a pervious paver is utilized. If a pervious paver is utilized on the site plan, documentation shall be submitted at permitting illustrating that the pavers have a percolation rate of 50%. Please revise the building disposition calculations if necessary.

- Elevations
  - The massing of the design mimics the massing of a Frame Vernacular cottage, but it utilizes materials, finishes, design features, and fenestration more closely resembling the City's collection of single-story Art Deco and Streamline Moderne structures.

- The mixing of massing and materials commonly associated with prevalent types of historic architecture is discouraged in the Historic Preservation Design Guidelines.
  - LWBHPDG, New Construction, Pg. 216. "*It is very important that new construction not hybridize the styles, borrowing pieces from one and another…The best approach is to choose one style of architecture, and to design a structure that utilizes the common characteristics, proportions, and materials of that style*."

- Staff recommends changing the roofline from a gable roof to a flat roof, or a low slope gable behind a short parapet to unify the design elements with the massing under a common architectural style.

- Staff recommends matching the front window header to the height of the entry door and not the eyebrow.
- Staff recommends adding simple masonry window sills.
- Staff recommends utilizing a corner window configuration on the northeast corner of the structure.
- Staff recommends utilizing additional glazing on the south elevation, as it features long expanses of blank façade.

- General Comments
  - Pursuant to LDR Section 23.2-31(d)(5), look-alike buildings shall not be allowed unless, in the opinion of the board, there is sufficient separation to preserve the aesthetic character of the present or evolving neighborhood. Staff reiterates proposing four identical single-family structures is atypical for the development pattern in the city and is generally not recommended.
  - Please provide a Justification Statement explaining the proposed architectural style and the repetition of the project.

DEPARTMENT FOR COMMUNITY SUSTAINABILITY
Planning Zoning Historic Preservation Division
1900 2ND Avenue North
Lake Worth Beach, FL 33461
561-586-1687

ATTACHMENT E – APPLICANT JUSTIFICATION STATEMENT AND REVIEW RESPONSES

MEMORANDUM DATE: September 1, 2021

AGENDA DATE: September 8, 2021

TO: Chair and Members of the Historic Resources Preservation Board

RE: **307 North L Street**

FROM: Jordan Hodges, Senior Preservation Coordinator
Abraham Fogel, Preservation Planner
Department for Community Sustainability

TITLE: **HRPB Project Number 21-00100250:** Consideration of a Certificate of Appropriateness (COA) for the construction of four (4) new ± 1,489 square foot single-family structures on Lots 27, 28, 29, and 30 of Block 90 at **307 North L Street**; PCN #38-43-44-21-15-090-0270. The subject property is located in the Low-Density Multi-Family Residential (MF-20) zoning district and the Northeast Lucerne Local Historic District.

ANTONIAZZI
ARCHITECTURE

August 10, 2021

City of Lake Worth Beach
Planning Zoning Historic Preservation Division
1900 2nd Avenue North
Lake Wort Beach, FL 33461

RE: **307 North L Street 4 New Single-Family Dwellings – Certificate of Appropriateness – Justification Statement**

The proposed homes to be located on subsequent Lots on 307 North L Steet are streamline-modern in style & fitted within 25ft lots to match the street's existing pattern of development. We believe the 4 homes' duplicated design is not an abnormal form of development within the City's historic fabric, there are examples of duplicate structures built on both 25 ft & 50 ft lots found in the city. Although these designs may not look identical today, we can suspect these structures were reasonably similar or exact copies at their initial completion. Examples of multifamily structures which are made to mimic the construction pattern of Lake Worth's 25ft lot widths volumetrically but do not vary their architectural style within their frontage can also are found the city. Below we are providing addresses of locations where duplications of design or cohesive architectural style spanning a 100' of frontage length cant be found.

Addresses:

325 N L St – Wood Frame Vernacular

526 N L St – Ranch Style Modern.

517 6th Ave N – Streamline Moderne.

401 6th Ave N – Masonry Vernacular

814 N O St – Minimal Traditional

601 3rd Ave N – Multifamily

Sincerely,

Giorgio G. Antoniazzi

Antoniazzi Architecture Inc.
25 NE 2nd Ave
Miami FL, 33131
Giorgio@Antoniazziarch.com
786-496-2979

ANTONIAZZI
ARCHITECTURE

August 9, 2021

City of Lake Worth Beach
Planning Zoning Historic Preservation Division
1900 2nd Avenue North
Lake Wort Beach, FL 33461

RE: **307 North L Street 4 New Single-Family Dwellings**
Application #

SITE PLAN AND PROJECT STATISTICS

FAR

1) Move FAR from Project Information to Building Disposition and provide calculations.
Response: **Note provided. See sheet G-001**

2) Max Far is provided at .50, whereas .60 is allowed for lots up to 4,999 sq. ft.
Response: **Information updated. See sheet G-001**

Historic District

1) Under project information, add Northeast Lucerne as the historic district instead of "yes".
Response: **Information updated. See sheet G-001**

Front Setback

1) Front porch slab/stairs shall not encroach into front 20'-0" front setback. Please revise.
Response: **The slab/stair has been removed. See sheet A-100**

Rear Setback

1) The minimum required rear setback is 13'-6" (10% of lot depth).
Response: **Rear setback updated to 13'-6". See sheet A-001**

Front Yard Impermeable

1) Add a calculation for Front Yard Impermeable
Response: **See 2/A-002**

"Provided however that the lesser of nine hundred (900) square feet or seventy-five (75) percent of the front yard area shall remain pervious and be landscaped."

2) Front yard area: 25'x20' = 500 sf.
Response: **Diagram provided. See 2/A-002**

Antoniazzi Architecture Inc.
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Miami FL, 33131
Giorgio@Antoniazziarch.com
786-496-2979

ANTONIAZZI
ARCHITECTURE

Impermeable Surface

1) Site Plan "Option A" utilizes a gravel parking pad. Gravel is considered a semi-pervious material. For semi-pervious surfaces, two (2) square feet of semi-pervious surface shall be equivalent to one (1) square foot of impervious surface for the purpose of calculating impermeable surface totals. Please revise the building disposition calculations.
Response: **Calculation updated. See sheet G-001 and G-003**

2) The pavers utilized on both "Option A" and "Option B" may be considered semi-pervious if a pervious paver is utilized. If a pervious paver is utilized on the site plan, documentation shall be submitted at permitting illustrating that the pavers have a percolation rate of 50%. Please revise the building disposition calculations if necessary
Response: **Noted. Thank you.**

Elevations

1) The massing of the design mimics the massing of a Frame Vernacular cottage, but it utilizes materials, finishes, design features, and fenestration more closely resembling the City's collection of single-story Art Deco and Streamline Modern structures.
Response: **The massing, design, & finishes proposed are clearly in alignment with Modern aesthetic. Although a gable roof is being used it is chosen for its functionality rather than any association to the local wooden vernacular. Architecturally it is clear the design is in harmony with mid-century & and Art-Deco Moderne styles.**

2) The mixing of massing and materials commonly associated with prevalent types of historic architecture is discouraged in the Historic Preservation Design Guidelines. – LWBHPDG, New Construction, Pg. 216. "It is very important that new construction not hybridize the styles, borrowing pieces from one and another…The best approach is to choose one style of architecture, and to design a structure that utilizes the common characteristics, proportions, and materials of that style."
Response: **The proposed design is cohesively a "modern" design & does not hybridize or mimic other prevalent styles of architecture in the neighborhood.**

1) Staff recommends changing the roofline from a gable roof to a flat roof, or a low slope gable behind a short parapet to unify the design elements with the massing under a common architectural style.
Response: **See Above.**

2) Staff recommends matching the front window header to the height of the entry door and not the eyebrow.
Response: **Header lowered to match top of window elevation.**

3) Staff recommends adding simple masonry window sills.
Response: **Window sill added. See sheet A-301**

4) Staff recommends utilizing a corner window configuration on the northeast corner of the structure.
Response: **Corner window added. See sheet A-301**

5) Staff recommends utilizing additional glazing on the south elevation, as it features long expanses of blank façade.
Response: **Window Sizes increased on South Façade & Faux Stucco Windows added. Additional windows would harm privacy for the adjacent house.**

Antoniazzi Architecture Inc.
25 NE 2ndt Ave
Miami FL, 33131
Giorgio@Antoniazziarch.com
786-496-2979

General Comments

1) Pursuant to LDR Section 23.2-31(d)(5), look-alike buildings shall not be allowed unless, in the opinion of the board, there is sufficient separation to preserve the aesthetic character of the present or evolving neighborhood. Staff reiterates proposing four identical single-family structures is atypical for the development pattern in the city and is generally not recommended.
Response: **Look a like properties are found in several areas within the Historic Lake Worth Beach. There are also near by multifamily & commercial projects which make look a like buildings appropriate on this street.**

2) Please provide a Justification Statement explaining the proposed architectural style and the repetition of the project.
Response: **Provide.**

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DEPARTMENT FOR COMMUNITY SUSTAINABILITY
Planning Zoning Historic Preservation Division
1900 2ND Avenue North
Lake Worth Beach, FL 33461
561-586-1687

ATTACHMENT F – DESIGN GUIDELINES: STREAMLINE MODERNE

MEMORANDUM DATE: September 1, 2021

AGENDA DATE: September 8, 2021

TO: Chair and Members of the Historic Resources Preservation Board

RE: **307 North L Street**

FROM: Jordan Hodges, Senior Preservation Coordinator
Abraham Fogel, Preservation Planner
Department for Community Sustainability

TITLE: **HRPB Project Number 21-00100250:** Consideration of a Certificate of Appropriateness (COA) for the construction of four (4) new ± 1,489 square foot single-family structures on Lots 27, 28, 29, and 30 of Block 90 at **307 North L Street**; PCN #38-43-44-21-15-090-0270. The subject property is located in the Low-Density Multi-Family Residential (MF-20) zoning district and the Northeast Lucerne Local Historic District.

Streamline Moderne

STREAMLINE MODERNE

A Style Introduction:

The Art Deco movement was in full swing by the late 1920s, which moved away from traditional building styles and into a modern design aesthetic. By 1930, several factors would contribute to a slight variation that occurs in this move into modernity. The result would be a style of architecture that was very similar to Art Deco, but simpler and more streamlined in its ornamentation and construction.

Streamline Moderne, which is also called Art Moderne, begins to appear around 1930. This is also the beginning of the Great Depression for the United States. Not surprisingly, the flourishes and fanciful expressions common in the Art Deco style may have become too expensive and flashy at a time when most people were struggling just to feed their families. The desire to still have modern looking buildings but with less ornamentation (and as a result, less costly to build) caused architects to look for a way to "streamline" the architecture.

Another huge influencing factor in the development of this style were the advancements taking place in technology and industry. Cars, airplanes, and passenger ships were being designed to be more aerodynamic (to help make them get places faster and utilize less fuel.) This meant that they were getting sleeker and smoother in appearance. This streamlining effect made its way into the architecture as well.

Similar to Art Deco, Streamline Moderne was more often used for commercial buildings, hotels, and apartments, but some residential structures did get to take advantage of this bright, clean style.

Right: Travel poster published by the New Haven Passenger Traffic Dept., 1935 *(Source: Boston Public Library)*

Left: Advertisement for the 1942 Nash Ambassador *(Source: Alden Jewell)*

Streamline Moderne architecture was a style developed intentionally to reflect the "Zeitgeist", or the spirit of the age. Advancements in building technologies were paralleling advancements in other disciplines including the transit, automotive, and military sectors. Buildings began to reflect the "streamlined" approach to industrial design. Advancements in mobility and design were also celebrated through public information and advertising campaigns reflected in the images above.

STREAMLINE MODERNE

A Style Described:

The main difference between Streamline Moderne and Art Deco is that the emphasis is on the horizontal rather than the vertical. While Art Deco had the tendency to take your eyes upward with towers, pylons, and other vertical details, Streamline Moderne rounded out edges, spread out the building, and had detailing that was more horizontal in nature.

Streamline Moderne features a flat roof, sometimes with coping at the roofline (a small ledge). Walls are usually covered with smooth stucco. Curved walls were a common feature unlike the hard lines and angles of the typical Art Deco house.

Glass blocks were used as a window treatment, or even as large sections of a wall. Picture windows were prevalent, sometimes with sidelights, and metal casement windows were common as well. Projecting eyebrows over the windows were still utilized, as in Art Deco. Sometimes the window would turn the wall and wrap around the corner of the building.

Streamline Moderne Elevation

Ornamentation on the house was very limited, with racing stripes being one of the few details. These stripes, the horizontal banding or grooves within the stucco, can be found just beneath the roofline, above and below windows, or at the corners of the building. Terrazzo was a common flooring material. Sometimes chrome, glass tile accents, and aluminum was used as a material, which also gave a modern touch. Porthole windows and steel railings along the roofline or on the balconies helped convey that sense that you were on a classic 1930s ocean liner.

Coca-Cola bottling plant in Los Angeles, Cal.

Magazine advertisement for Heywood Wakefield Streamline Modern furniture, Gardner, MA. 1950.

STREAMLINE MODERNE

A Style Defined:

1. **Roofs:**
   - Roofs are almost always flat.
   - Parapets are common and often embellished with simple stucco reliefs.

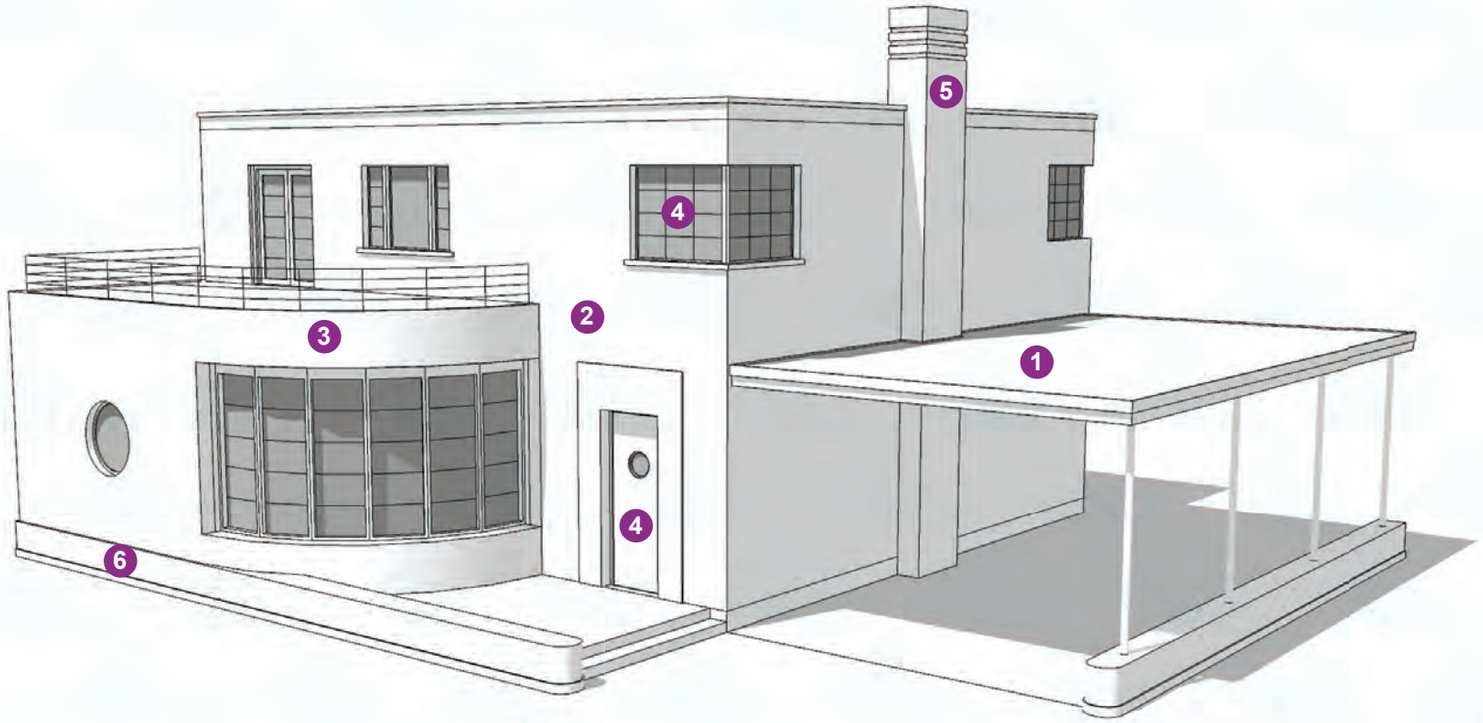
2. **Exterior Finishes and Features:**
   - Smooth, stucco walls with little projected decoration.
   - At least one curved wall is common.
   - Right angles often use rounded stucco corners.
   - Racing stripes are used decoratively.
   - Emphasis is more on the horizontal rather than the vertical lines of the house.
   - New technology was affecting the design of ships and airplanes, this change in design was reflected in architecture as well.

3. **Massing and Composition:**
   - There are often rounded building massing giving a nautical feel to the building.

4. **Doors & Windows:**
   - Porthole windows at special locations.
   - Windows were typically steel casement, fixed pane, or glass block.
   - Windows are often placed at the corners of buildings.

5. **Chimney:**
   - Masonry built with either a stone, brick, or stucco finish.
   - Vertical stripes or horizontal lines near the top.

6. **Foundation:**
   - The Streamline Moderne house sits on a masonry base.



GALLERY OF EXAMPLES

This fine local example of Streamline Moderne has horizontal banding, a thin parapet cap, and corner metal casement windows.

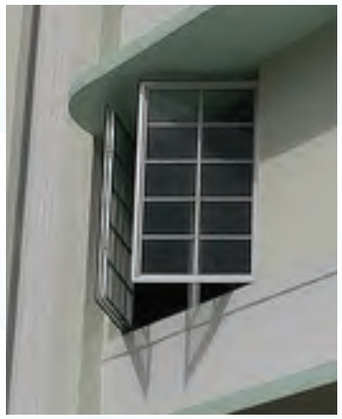
Lake Worth Beach, Florida

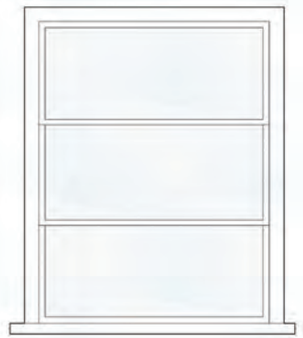
Lake Worth Beach, Florida

Description of Streamline Moderne Windows

- Streamline Moderne windows are typically casement, fixed, awning and periodically jalousie type windows. Glass block and porthole windows were also occasionally used as an accent..
- Streamline Moderne windows are almost always metal with square or horizontal lights (panes).
- Streamline Moderne windows can be vertical, square, or horizontal in their proportion. As with the massing and architecture of Streamline Moderne buildings, window openings often emphasized the horizontality of this style. These windows are inset deep into the exterior wall creating deep shadow lines.
- Streamline Moderne buildings do not typically have applied operable shutters so storm protection is not a permanent fixture.
- A unique and prominent feature of Streamline Moderne architecture is corner windows which are typically formed with casement or awning window types.

Steel casement windows

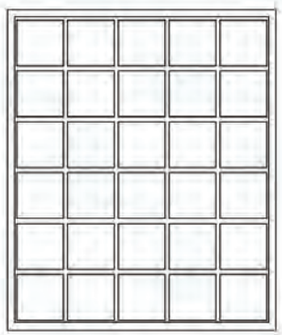




Awning windows

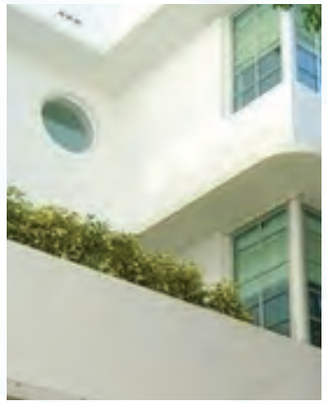
Fixed and casement windows

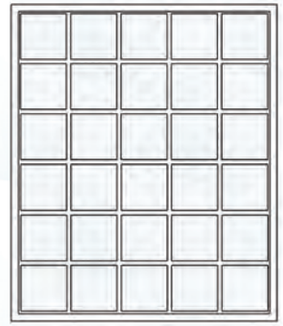
Corner steel casement windows



Fixed pane and glass block

Porthole window





Glass block

Grouped casements wrapping a corner with a pipe column at the edge

This Streamline Moderne structure utilizes both metal casement and awning windows

Rounded horizontal pane, fixed glass

STREAMLINE MODERNE

Description of Streamline Moderne Doors

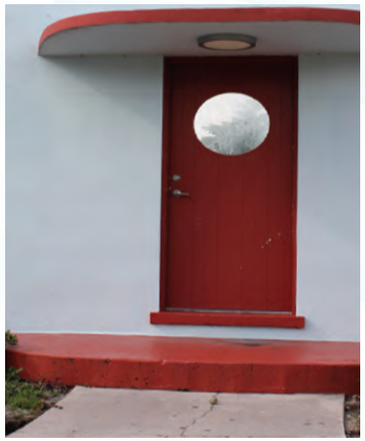
- Streamline Moderne doors are typically flush wooden doors with a porthole window, plank-type doors with a porthole window, or French-type doors with five horizontal panes.
- Like the Art Deco style, Streamline Moderne structures often have decorative screen doors.

Five-pane French door with horizontal lights

Three panel wood door

Three-light door

Porthole window



Description of Streamline Moderne Roofs and Exterior Surfaces

- Streamline Moderne structures almost always have a smooth stucco finish with horizontal banding or decorative grooves.
- Roofs are flat with thinly capped parapet walls or extended overhangs. The roofs of Streamline Moderne buildings accentuate the horizontal "movement" of the architecture.

Ornamented openings surrounding entryways and balconies

Horizontal banding emphasizes the horizontality of Streamline Moderne

Streamline Moderne buildings are almost always smooth stucco

Porthole windows with ribbed stucco striping

DEPARTMENT FOR COMMUNITY SUSTAINABILITY
Planning Zoning Historic Preservation Division
1900 2ND Avenue North
Lake Worth Beach, FL 33461
561-586-1687

ATTACHMENT G – DESIGN GUIDELINES: NEW CONSTRUCTION

MEMORANDUM DATE: September 1, 2021

AGENDA DATE: September 8, 2021

TO: Chair and Members of the Historic Resources Preservation Board

RE: **307 North L Street**

FROM: Jordan Hodges, Senior Preservation Coordinator
Abraham Fogel, Preservation Planner
Department for Community Sustainability

TITLE: **HRPB Project Number 21-00100250:** Consideration of a Certificate of Appropriateness (COA) for the construction of four (4) new ± 1,489 square foot single-family structures on Lots 27, 28, 29, and 30 of Block 90 at **307 North L Street**; PCN #38-43-44-21-15-090-0270. The subject property is located in the Low-Density Multi-Family Residential (MF-20) zoning district and the Northeast Lucerne Local Historic District.

NEW CONSTRUCTION

The City of Lake Worth Beach Beach has a rich variety of historic and authentic architectural styles. These Design Guidelines document the 10 primary styles throughout the six historic districts as well as other notable styles throughout the city. Cities and neighborhoods, including those that are historic, are never static. There will always be some level of construction activity in the neighborhood, and that often includes the new construction of primary and accessory buildings.

New construction, defined as a new structure within a historic district, should be carefully planned and designed so that it is compatible with neighboring structures. It is very important that the construction of new structures adhere to certain principles that are vital to the health and longevity of the historic district.

Style

Each historic district in Lake Worth Beach is made of many architectural styles. These buildings and homes were built over time, with different hands, and in a manner or style that was in favor at the time. The historic districts of Lake Worth Beach are authentic; they are not architectural "petting zoos" that showcase a single style. New construction within the districts should take the primary styles into consideration when contemplating the design of a new building. While it is understood that new buildings will not be built exactly the same way their historic neighbors were, there should be a conscious effort to be compatible with and take inspiration from the historic fabric. New construction can be designed utilizing the architectural language of one of the 10 defined primary styles, or an alternate yet compatible style It is very important that new construction not hybridize the styles, borrowing pieces from one and another. This approach creates confusion and dilutes the intrinsic value of the historic structures and styles. Additionally, this approach will result in mediocre architecture at best. The best approach is to choose one style of architecture, and to design a structure that utilizes the common characteristics, proportions, and materials of that style.

This images shows a historic structure in the foreground with a new two-story addition beyond.

Here is an example of a award winning new construction in Lake Worth Beach.

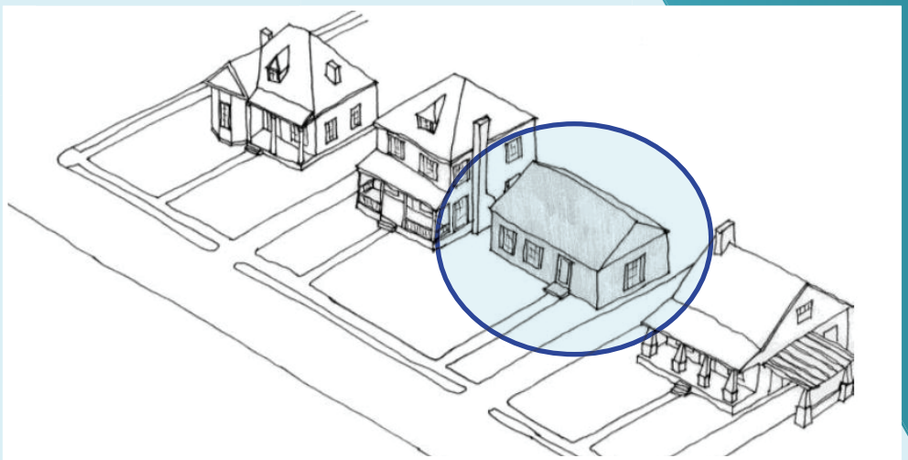
The Street

One of the most impressive and enduring characters of the historic district is the assemblage of the buildings to create the street. The rhythm, consistency, and beauty of the historic neighborhood street is made of many parts that need to be understood in order to protect the character of the street during new construction. These elements include street trees, walls and fences, the spacing between buildings, the height of porches, and the relationship between upper and lower floors of a building. This is not to say that new construction must align its roof lines, doors and windows precisely with its neighbors. There is a narrow range however where these elements in new construction can either add to the rhythm of the street or break it. This is why applicants for new construction must include a street elevation illustrating the new structure in context with its neighboring structures. The city's historic preservation staff are available to assist applicants to ensure the rhythm of the street remains intact.

Scale, Height, and Massing

Few things can disrupt a historic street and district than new construction that is out of scale, too tall, and simply overwhelms its lot. The relative size and height of a new structure is regulated within the city's Land Development Regulations, however, in a historic district a greater level of sensitivity is typically required. Even if the zoning code allows a two-story structure; on a street made of one-story historic structures, a two-story structure may not be appropriate. Sensitivity and compatibility with neighboring structures and homes is as important as what is allowed by code. Additionally, the issues of scale, height, and massing are also important at the micro scale. Windows that are too big, or too small; roof fascia lines that are too bulky and out of proportion with the character of the style; roof pitches that are uncharacteristic for that language can also be disruptive to the district. Also, historic structures rarely (if ever) have their finished floor level at grade. They are typically raised 18"-24" above the ground. Not only is this detail important for flooding and air circulation issues, but it gives the structure a greater presence on the street. This is an important, often overlooked, detail that will impact the massing of the new structure. When considering new construction in a historic district and confronted with questions about scale, height, and massing, look around the neighborhood: all of the answers are there.

In this diagram the new construction (circled in red) is inconsistent with the siting of its historic neighbors. The structure itself is also out of scale.



Here this new home is more appropriately scaled to its neighbors and has consistent setbacks.

Building Placement and Orientation

A characteristic of historic districts and neighborhoods that is not commonly appreciated is their historic development pattern. Unlike suburban neighborhoods, historic districts were typically planned with a regular street and block pattern, often with alleyways, and with a disciplined distribution of small, medium-sized, and large lots. While it might be common to have small cottages, sprawling ranches, and large Mediterranean Revival structures on a single block, it is the discipline of their placement and orientation in relation to the street that is inherent to the historic planning of the district. It is also vitally important that like-sized houses face like-sized houses. If the homes on a block have smaller front setbacks and garages that are accessed from an alleyway, new construction should be consistent with those conditions. A typical feature of historic homes, particularly more modestly sized structures, is their presence on the street. If all of the houses on the street have direct pedestrian access from the sidewalk to the front door, then new construction should be consistent. If new construction is occurring in an area with larger lots where orientation of historic structures relative to the street is less consistent, then again new construction can take its cues from the neighborhood. The consistent theme with new construction is to look and listen to the neighborhood. All of the direction needed is already there.

Materials and Details

These Design Guidelines are filled with drawings and photographs of appropriate windows, doors, roof types, materials, and construction details for each of the 10 primary architectural styles. This is a tool to identify the appropriate parts and pieces that comprise a particular historic architectural style. Many of the instructions herein are geared to the reconstruction, rehabilitation, and restoration of existing historic structures. The same rules apply for new construction. When building a new structure within a historic district, the owner should consider the variety of historic styles in Lake Worth Beach, choose one, and design a structure consistent with the details provided in this guide.

This diagram illustrates a few key elements to assessing a building's compatibility with its historic context: roof slopes, building height and mass, and front and side setbacks. These items combined help establish the rhythm of the street.

This new construction in Lake Worth Beach effectively uses modern materials in a manner that is compatible with the historic context.

DEPARTMENT FOR COMMUNITY SUSTAINABILITY
Planning Zoning Historic Preservation Division
1900 2ND Avenue North
Lake Worth Beach, FL 33461
561-586-1687

MEMORANDUM DATE: September 1, 2021

AGENDA DATE: September 8, 2021

TO: Chair and Members of the Historic Resources Preservation Board

RE: **320 North Lakeside Drive**

FROM: Jordan Hodges, Senior Preservation Coordinator
Abraham Fogel, Preservation Planner
Department for Community Sustainability

TITLE: HRPB Project Number 21-00100222: Consideration of a Certificate of Appropriateness (COA) for the construction of a new +/- 1,790 square foot addition for the single-family residence at 320 North Lakeside Drive; PCN #38-43-44-21-15-430-0050. The subject property is located within the Single-Family Residential (SF-R) zoning district and is a contributing resource to the Old Lucerne Local Historic District.

OWNER: Per and Rachel Lorentzen
320 N Lakeside Drive
Lake Worth Beach, FL 33460

PROPERTY DEVELOPMENT HISTORY:

Per documentation within the City's property files, the building at 320 North Lakeside Drive was constructed circa 1925 in a Mediterranean Revival architectural style. Although no original architectural drawings of the buildings are available in the City's property file, a property card from 1943, included as **Attachment A**, describes the structure as being of block construction with gable roofs, having a stucco exterior, and plaster and wood interior walls. Recent photos of the building illustrate a linear building with an irregular plan with varying roof heights over individual massing elements, partially enclosed colonnades, wood casement windows with decorative grills, and simple exterior detailing typical for its period of construction. By 1943, a garage was erected at the front of the building which has since been converted to habitable living space and serves as the front entry point facing North Lakeside Drive. Alterations over time include the installation of an asphalt shingle roof, window replacement, and various site alterations. Photos of the property are included in this report as **Attachment B**. The building maintains a moderate to high degree of the seven aspects of historic integrity; location, setting, design, workmanship, materials, feeling, and association.

At the May 12, 2021 HRPB meeting, the Board reviewed conceptual plans for the proposed addition at the property. The property owners presented schematic drawings of the addition and expressed their intent to utilize shipping containers for the addition's construction. The Board requested that the property owners carefully consider the decision to utilize the manufactured containers, as Board members familiar with this type of construction did not believe it would be advantageous. In addition, the Board requested that vertically oriented windows be utilized as they are the most appropriate for the

architectural style of the existing historic resource. The conceptual review drawings presented at the May 12, 2021 meeting are included as **Attachment C**.

PROJECT DESCRIPTION:

The property owners, Per and Rachel Lorentzen, are requesting approval for the construction of a +/- 1,790 square foot addition. The subject property is a 125' x 135' (16,875 square foot) parcel consisting of 2.5 platted lots of record (Block 430, Lots 5, 6, and the southern half of lot 7) located on the east side of North Lakeside Drive between 3rd Avenue North and 4th Avenue North. The property is bordered on the east by the Lake Worth Beach Municipal Golf Course. The parcel is located in the Single-Family Residential (SF-R) zoning district and retains a Future Land Use (FLU) designation of Single Family Residential (SFR).

The application will require the following approval:

1. **COA** for the construction of a +/- 1,790 square foot addition

STAFF RECOMMENDATION: Staff recommends that the Board discuss the transition in height between the existing residence and the addition and the utilization of the 16-foot-wide garage door to determine the overall compatibility of the features and proposed massing. If the Board deems the proposal visually compatible and generally consistent with the City's Historic Preservation Ordinance and the Lake Worth Beach Historic Preservation Design Guidelines, staff recommends approval with conditions as provided on page 10.

PROPERTY DESCRIPTION:

Owner	Per and Rachel Lorentzen
General Location	East side of North Lakeside Drive between 3rd Avenue North and 4th Avenue North
PCN	38-43-44-21-15-430-0050
Zoning	Single-Family Residential (SF-R)
Existing Land Use	Single Family Residence
Future Land Use Designation	Single Family Residential (SFR)

SITE ANALYSIS:

Surrounding Properties

The site is surrounded by similar structures with similar Zoning and FLU designations, and thus, are found to be compatible with the existing and proposed residential use on the subject site. The following summarizes the nature of the surrounding properties adjacent to the subject site:

NORTH: Immediately north of the subject site is a single-family structure. This parcel contains a FLU designation of SFR and a zoning designation of SF-R.

SOUTH: Immediately south of the subject site is a single-family structure. This parcel contains a FLU designation of SFR and a zoning designation of SF-R.

EAST: East of the subject site is the Lake Worth Beach Municipal Golf Course. This parcel contains a FLU designation of PROS and a zoning designation of PROS.

WEST: West of the subject site across North Lakeside Drive is a single-family structure. This parcel contains a FLU designation of SFR and a zoning designation of SF-R.

LAND DEVELOPMENT CODE REQUIREMENTS:

Land Development Code Requirements		
Code References	**23.3-7 (SF-R); 23.4-10 (Off-street parking)**	
	Required	**Existing/Proposed**
Lot Area	5,000 sf.	16,875 sf.
Lot Width	50'-0"	125'-0"
Building Height	30'-0" (2 stories)	Existing Front portion: Approx.: 9'-6" Proposed: 20'-3"
Setback - Front	20'-0"	Existing: 21.9' Proposed: 31.8'
Setback - Side	10'-0" (10% of lot width up to a maximum of 10 feet for lots over 100 feet in width)	Existing North: 31.1' Proposed North: 31.1' Existing South: 50.4' Proposed South: 14.8'
Setback - Rear	13'-6" (10% of lot depth)	**Existing: 8.1' (existing non-conformity)** Proposed: 75.6' (addition)
Impermeable Surface Total (1)	60.0% total (10,125 sf.)	50.1% (8,455 sf.)
Front Yard Impermeable	Lesser of 900 square feet or 75% pervious and landscaped	1,255 sf. Pervious and landscaped
Maximum Building Coverage (1)	30.0% maximum (5,035 sf.)	22.3% (3,751 sf.)
Density/Number of Units	1 dwelling unit	1 dwelling unit
Floor Area Ratio (1)	0.45 (7,593.75) maximum	0.21 (3,611 sf.)
Living Area	800 sf. minimum	Existing: 2,856 sf. Proposed: Approx. 3,986 sf.
Parking	2 spaces	Existing: 4 spaces Proposed: 8 spaces
Parking Dimensions	9'x18' perpendicular or angled off street 9'x28' perpendicular or angled off alley 9'x22' parallel	9'x18' perpendicular in driveways and garage
Base Flood Elevation (NAVD)	Pending Flood Zone AE BFE: 8' NAVD + 12" Freeboard 9'-0" NAVD	4.48 NAVD

(1)- Large lot (lots over 7,500 square feet)

The proposed addition is consistent with all site data requirements in the City's zoning code. The application, as proposed, exceeds the minimum off-street parking requirements and complies with all impermeable surface requirements, building coverage allotments, floor area ratio, and required building setbacks. A survey of the existing parcel is included as **Attachment D**. The proposed site plan and architectural drawings are included as **Attachment E.**

Existing Non-Conformities – Buildings and Structures

The existing historic structure has a legal non-conforming rear setback that does not comply with minimum setback requirements provided within Section 23.3-7 of the Lake Worth Beach Land Development Regulations. Pursuant to LDR Section 23.5-3(d), Non-conforming buildings and structures:

1. *Nonconforming buildings and structures may be enlarged, expanded or extended subject to these LDRs, including minimum site area and dimensions of the district in which the building or structure is located. No such building or structure, however, shall be enlarged or altered in any way so as to increase its nonconformity. Such building or structure, or portion thereof, may be altered to decrease its nonconformity, except as hereafter provided.*

The proposed addition complies with current zoning requirements and do not increase the existing non-conforming setbacks of the existing structure.

Base Flood Elevation

The existing structure does not comply with the current base flood elevation (BFE) requirements. Pursuant to FEMA's Home Builder's Guide to Coastal Construction (P-499);

Coastal Construction Requirements and Recommendations				
	V Zone	Coastal A Zone	A Zone	Additional Resources
Repairs, Remodeling, and Additions [See Fact Sheet No. 9.1]				
Lateral Additions That Do Not Constitute Substantial Improvement NFIP 60.3(e)(5) and 60.3(c)(5)	Recommendation: Make addition compliant with current NFIP requirements for V Zone construction. Requirements: Post-FIRM existing building – the addition must meet NFIP requirements in effect at time the building was originally constructed. Pre-FIRM existing building – NFIP requirements concerning new construction are not triggered (see Fact Sheet Nos. 1d, 1e, 2b, 3a, 3e, 8a, 8c)	Recommendation: Follow V Zone requirement for building elevation and open foundations for the addition and the existing building. Requirements: Post-FIRM existing building – the addition must meet NFIP requirements in effect at the time the building was originally constructed (see Fact Sheet Nos. 1d, 1e, 2b, 3a, 3e, 8a, 8c). Pre-FIRM existing building -- NFIP requirements concerning new construction are not triggered.	Recommendation: Elevate bottom of lowest horizontal structural member to or above BFE (same for existing building if it is elevated) (see Fact Sheet No. 1d) Requirements: Post-FIRM existing building – the addition must meet NFIP requirements in effect at the time the building was originally constructed (see Fact Sheet Nos. 1d, 1e, 2b, 3a, 3e, 8a, 8c). Pre-FIRM existing building -- NFIP requirements concerning new construction are not triggered.	BC: 3403.2, 3412.2.3, 3405.3 IRC: R322.3.1 ASCE: ASCE 7 Sec. 1.6 Other: FEMA TB #1, FEMA TB #5, FEMA TB #9, FEMA 550

As indicated in the table above, lateral additions that do not constitute a substantial improvement in Pre-Firm existing buildings (in the A Zone) and are not required to meet current BFE requirements. FIRM stands for Flood Insurance Rate Map, the first FIRM became effective December 31, 1974. The subject property is Pre-Firm as it was constructed circa 1925. The City's Building Official and Floodplain Administrator, Peter Ringle, utilized an independent appraisal provided by the applicants to determine the substantial improvement threshold. The independent appraisal assessed the depreciated value of the structure at $527,542.00. The applicants estimate that their construction costs will be below the $263,771.00 substantial improvement threshold (50% of assessed value). Therefore, the addition is allowed to be constructed at a BFE of 4.48 NAVD to match the existing structure.

HISTORIC PRESERVATION ANALYSIS:

All additions to contributing resources within a designated historic district shall be visually compatible. Additions should take their design cues from the surrounding existing structures, using traditional or contemporary design standards and elements that relate to existing structures that surround them and within the historic district as a whole.

The scope of this COA application includes the construction of a new two-story addition consisting of a garage, stair corridor, and second-story master suite. Staff has reviewed the documentation and materials provided in this application and outlined the applicable guidelines and standards found in the City's Historic Preservation Ordinance, detailed in the section below. The property owners have submitted a Justification Statement for the request, included as **Attachment F**.

Section 23.5-4(K)(1) *General guidelines for granting certificates of appropriateness*

1. *In general.* In approving or denying applications for certificates of appropriateness, the city shall, at a minimum, consider the following general guidelines:

   A. What is the effect of the proposed work on the landmark or the property upon which such work is to be done?

      Staff Analysis: The proposal includes a two-story addition to the south of the existing structure. The addition will consist of a two-story stair corridor, a two-vehicle garage bay, and a second-story master suite.

   B. What is the relationship between such work and other structures on the landmark site or other property in the historic district?

      Staff Analysis: The proposed addition will have a direct visual impact on the massing relationship of the existing structure and neighboring properties. The existing contributing resource is characterized by the insertion of individual massing forms that were added to or connected to the property overtime, giving the property a staggered and atypical appearance in terms of massing and scale.

C. To what extent will the historic, architectural, or archaeological significance, architectural style, design, arrangement, texture, materials and color of the landmark or the property be affected?

Staff Analysis: The proposed addition will alter the historic design and arrangement of the building's visual massing. The resource was constructed in the 1920s and added to over the years, creating the appearance of a group of independent structures that have been connected over time. The proposed addition continues this theme, with a large two-story massing attached to the existing resource via a connector hallway.

D. Would denial of a certificate of appropriateness deprive the property owner of reasonable beneficial use of his property?

Staff Analysis: No, denial of the COA would not deprive the applicant of reasonable use of the property.

E. Are the applicant's plans technically feasible and capable of being carried out within a reasonable time?

Staff Analysis: The plans are feasible and could be carried out in a reasonable timeframe.

F. Are the plans (i) consistent with the city's design guidelines, once adopted, or (ii) in the event the design guidelines are not adopted or do not address the relevant issue, consistent as reasonably possible with the applicable portions of the United States Secretary of the Interior's Standards for Rehabilitation then in effect?

Staff Analysis: As discussed in the Design Guidelines Analysis, pages 8 and 9 of this report, the proposed addition generally respects the historic fabric and integrity of the existing resource by connecting to an inconspicuous location set back on the south façade.

G. What are the effects of the requested change on those elements or features of the structure which served as the basis for its designation and will the requested changes cause the least possible adverse effect on those elements or features?

Staff Analysis: The building is a contributing resource that was designed in a Mediterranean Revival architectural style. The proposed addition does not require substantial alterations to the existing building, but the two-story addition is substantial and will have a visual impact on the resource when viewed from North Lakeside Drive.

Section 23.5-4(K)(2) *Additional guidelines for alterations and additions.*

2. In approving or denying applications for certificates of appropriateness for alterations and additions, the city shall also consider the following additional guidelines: *Landmark and contributing structures:*

A. Is every reasonable effort being made to provide a compatible use for a property that requires minimal alteration of the building, structure or site and its environment, or to use the property for its originally intended purpose?

Staff Analysis: Not applicable, no change is proposed for the use of property.

B. Are the distinguishing original qualities or character of a building, structure, or site and its environment being destroyed? The removal or alteration of any historic material or distinctive architectural features shall be avoided whenever possible.

Staff Analysis: A portion of the wall on the south façade will be removed where the addition attaches to the structure. The applicants are not proposing to remove or alter any distinguishing qualities of the historic structure. Overall, the arrangement of massing elements will be altered due to the size and placement of the addition.

C. Is the change visually compatible with the neighboring properties as viewed from a primary or secondary public street?

Staff Analysis: The addition's two-story garage element is similar to the garage addition at the neighboring property to the south, 314 N Lakeside Drive, as evident on the streetscape alteration.

D. When a certificate of appropriateness is requested to replace windows or doors the HRPB or development review officer, as appropriate, may permit the property owner's original design when the city's alternative design would result in an increase in cost of twenty-five (25) percent above the owner's original cost. The owner shall be required to demonstrate to the city that:

(1) The work to be performed will conform to the original door and window openings of the structure; and

Staff Analysis: The applicants are not proposing to replace existing windows or doors.

(2) That the replacement windows or doors with less expensive materials will achieve a savings in excess of twenty-five (25) percent over historically compatible materials otherwise required by these LDRs. This factor may be demonstrated by submission of a written cost estimate by the proposed provider of materials which must be verified by city staff; and

Staff Analysis: Not applicable, the applicant is not replacing windows and doors.

(3) That the replacement windows and doors match the old in design, color, texture and, where possible, materials where the property is significant for its architectural design or construction.

Staff Analysis: Not applicable, the applicant is not replacing windows and doors.

Historic Preservation Design Guidelines Analysis (Mediterranean Revival Architectural Style)

Per the Historic Preservation Design Guidelines, the Mediterranean Revival architectural style became popular in the United States during the early part of the twentieth century in areas that had strong ties to Spanish Colonial heritage, such as California, Texas, and Florida. The buildings were designed with influences from Moorish, Persian, Spanish, and Italian architecture found throughout the Mediterranean. The massing of the buildings are often asymmetrical and utilize thick walls covered with stucco, which can have a smooth or rough finish. One of the most recognizable features of this style is the use of clay barrel tile on gable or cross gable roofs. Rooflines are also designed as staggered or multi-level. Windows were typically casements, sash windows, or a combination of the two. The Mediterranean Revival chapter from the LWBHPDG is included as **Attachment G**.

Staff Analysis: The architectural design of the addition was altered substantially between the conceptual review and the final drawings. The conceptual review drawings (**Attachment C**) featured a single-story massing connecting the two-story garage addition to the existing building. Additionally, the conceptual review drawing featured a flat roof with a decorative parapet over the two-story massing and utilized a large center medallion on the second floor without any fenestration on the east façade.

The new design features a broad asymmetrical gable roof and utilizes a single-story and a two-story massing element that connects the primary bulk of the addition to the existing structure. The connecting element is set back roughly 47 feet from the front property line, with the front façade of the two-story garage portion set back roughly 32 feet. Both massing elements are setback from the front façade of the existing structure, which is sited at a 22-foot setback. The front façade of the addition utilizes two vertically oriented single-hung windows in the connecting element, and two false recesses on the second floor of the primary mass. Vertical slat shutters with shutter hardware are placed in the recesses to create the appearance of window openings. The remaining north, south, and east facades utilize vertically oriented single-hung and casement windows at regular intervals to avoid long expanses of blank façade.

The addition will utilize stucco with a texture to match the existing stucco application and an asphalt shingle roof to match the existing roof type. Although barrel tiles are a more appropriate roofing material for Mediterranean Revival buildings, a property card from 1943, included as **Attachment A**, indicates that the building has utilized a slate or composite shingle for the majority of its existence.

Staff does have some remaining concerns regarding the height discrepancy between the two-story addition and the low single-story front façade of the existing building. The property owners and project architect have sought to mitigate the transition by extending the sloped roof over the connecting massing element and by setting the addition back from the front façade of the residence. Additionally, the design utilizes a two-bay, sixteen-foot (16') wide garage door, which is atypical for Mediterranean Revival structures of the period that featured integral garages. Original garage bays that remain on the City's early Mediterranean and Mission Revival style structure are typically around nine feet (9') in width. Staff has included a condition of approval that the garage utilizes two garage doors in place of the single 16' wide garage door.

PUBLIC COMMENT:
At the time of publication of the agenda, staff has received no public comment.

CONCLUSION:
It is the analysis of staff that the proposed addition is generally consistent with the City's Historic Preservation Ordinance and the Lake Worth Beach Historic Preservation Design Guidelines. Staff recommends that the Board discuss the transition in height between the existing residence and the addition and the utilization of the 16-foot-wide garage door to determine the overall compatibility of the features and proposed massing.

Conditions of Approval
1. All proposed exterior entry doors shall be compatible with the Mediterranean Revival architectural style, and shall be subject to staff review at permitting.
2. The windows shall be recessed a minimum of two inches (2") in the wall, and shall not be installed flush with the exterior wall.
3. The divided-light patterns on windows shall be created utilizing exterior raised applied triangular muntins. Exterior flat muntins or "grills between the glass" shall not be permitted.
4. The windows shall utilize glazing that is clear, non-reflective, and without tint. Low-E (low emissivity) is allowed but the glass shall have a minimum 60% visible light transmittance (VLT) measured from the center of glazing. Glass tints or any other glass treatments shall not be combined with the Low-E coating to further diminish the VLT of the glass.
5. The doors may utilize clear glass, frosted, obscure glass, or glass with a Low-E coating (70% minimum VLT). Tinted, highly reflective, grey, colored, etched, or leaded glass shall not be used.
6. The garage door shall utilize a recessed panel design or vertical plank design (as proposed), subject to staff review at permitting.
7. The new stucco shall match the existing stucco on the residence in application, coarseness, and texture.
8. The new roof shingles shall match the shingles on the existing residence, subject to staff review at permitting.
9. The faux openings on the west façade shall utilize shutters recessed in the wall. The shutters shall be dimensioned to match the existing shutter sizes on the west façade.
10. The garage shall utilize two garage doors in place of the single 16' garage door.

I MOVE TO **APPROVE** HRPB Project Number 21-00100222, with staff recommended conditions of approval for a Certificate of Appropriateness (COA) for a +/- 1,790 square foot addition to the single-family residence located at **320 North Lakeside Drive**, based upon the competent substantial evidence in the staff report and pursuant to the City of Lake Worth Beach Land Development Regulations and Historic Preservation requirements.

I MOVE TO **DENY** HRPB Project Number 21-00100222, a Certificate of Appropriateness (COA) for a +/- 1,790 square foot addition to the single-family residence located at **320 North Lakeside Drive**, because the applicant has not established by competent substantial evidence that the application is in compliance with the City of Lake Worth Beach Land Development Regulation and Historic Preservation requirements.

ATTACHMENTS:

A. Property File Documentation
B. Current Photos
C. Conceptual Plan Drawings
D. Property Survey
E. Proposed Architectural Plans
F. Applicant Justification Statement
G. LWBHPDG Mediterranean Revival

DEPARTMENT FOR COMMUNITY SUSTAINABILITY
Planning Zoning Historic Preservation Division
1900 2ND Avenue North
Lake Worth Beach, FL 33461
561-586-1687

ATTACHMENT A – PROPERTY FILE DOCUMENTATION

MEMORANDUM DATE: September 1, 2021

AGENDA DATE: September 8, 2021

TO: Chair and Members of the Historic Resources Preservation Board

RE: **320 North Lakeside Drive**

FROM: Jordan Hodges, Senior Preservation Coordinator
Abraham Fogel, Preservation Planner
Department for Community Sustainability

TITLE: HRPB Project Number 21-00100222: Consideration of a Certificate of Appropriateness (COA) for the construction of a new +/- 1,790 square foot addition for the single-family residence at 320 North Lakeside Drive; PCN #38-43-44-21-15-430-0050. The subject property is located within the Single-Family Residential (SF-R) zoning district and is a contributing resource to the Old Lucerne Local Historic District.

REAL PROPERTY RECORD
CITY OF LAKE WORTH, FLORIDA

CARD No.

INDEX No.

DESCRIPTION

ADDRESS 322-324 North Lakeside Drive

SEC.	TWP.	RGE.

Marie L. Smith

Lot 6 Block 430 Townsite
& S½ of 7

	KIND OF STRUCTURE	CONSTRUCTION	USE	Cond.	Class	Type
A	RESIDENCE	Con BLOCK	RESIDENCE	G	F	
B						
C						

EXTERIOR FEATURES

	Foundation	Basement	EXTERIOR WALLS	ROOF TYPE	ROOF MATERIAL	EXT. FINISH	WINDOWS DOORS	PORCHES
A	Con GRADE COND. G	GRADE COND. X	Con BLOCK GRADE COND. G	GABLE GRADE COND. G	SLATE.SUR GRADE COND. A	STUCO GRADE COND. G	STEEL GRADE COND. G	GRADE COND. X
B	GRADE COND.	GRADE COND.	GRADE COND.	GRADE COND.	GRADE COND.	GRADE COND.	GRADE COND.	GRADE COND.
C	GRADE COND.	GRADE COND.	GRADE COND.	GRADE COND.	GRADE COND.	GRADE COND.	GRADE COND.	GRADE COND.

INTERIOR FEATURES

	Floor Type	Floor Material	INTERIOR WALLS	FINISH	TRIM	ATTIC
A	Double-Single GRADE COND.	TILE+PINE GRADE COND. G	PLASTER&WOOD GRADE COND. G	PAINT GRADE COND. G	WOOD GRADE COND. G	UNF. FIN. NO. ROOMS 1
B	Double-Single GRADE COND.	GRADE COND.	GRADE COND.	GRADE COND.	GRADE COND.	UNF. FIN. NO. ROOMS
C	Double-Single GRADE COND.	GRADE COND.	GRADE COND.	GRADE COND.	GRADE COND.	UNF. FIN. NO. ROOMS

INTERIOR FEATURES

	PLUMBING TYPE	PLUMB. FIXTURES	HEATING	LIGHTING	
A	GRADE COND.	NO. 8 GRADE COND. G	FIRE PLACE GRADE COND. G	NO. FIXT'S. 12 GRADE COND. G	
B	GRADE COND.	NO. GRADE COND.	GRADE COND.	NO. FIXT'S. GRADE COND.	
C	GRADE COND.	NO. GRADE COND.	GRADE COND.	NO. FIXT'S. GRADE COND.	

EQUIPMENT

EQUIPMENT	A	B	C
ELEVATORS			
SPRINKLER SYS.		✓	
SOLAR HEATER	✓		
LAUNDRY TRAYS	1		
Air Conditioning			
STORM SHUTTERS	✓		
INSULATED WALLS			
INSULATED ROOF			
GUTTER & Dn.-Spout	✓		
TYPE OF WIRING	O		
REFRIGERATION	✓		
INDOOR BEDS			
SCREENED		✓	

DIAGRAM OF STRUCTURES

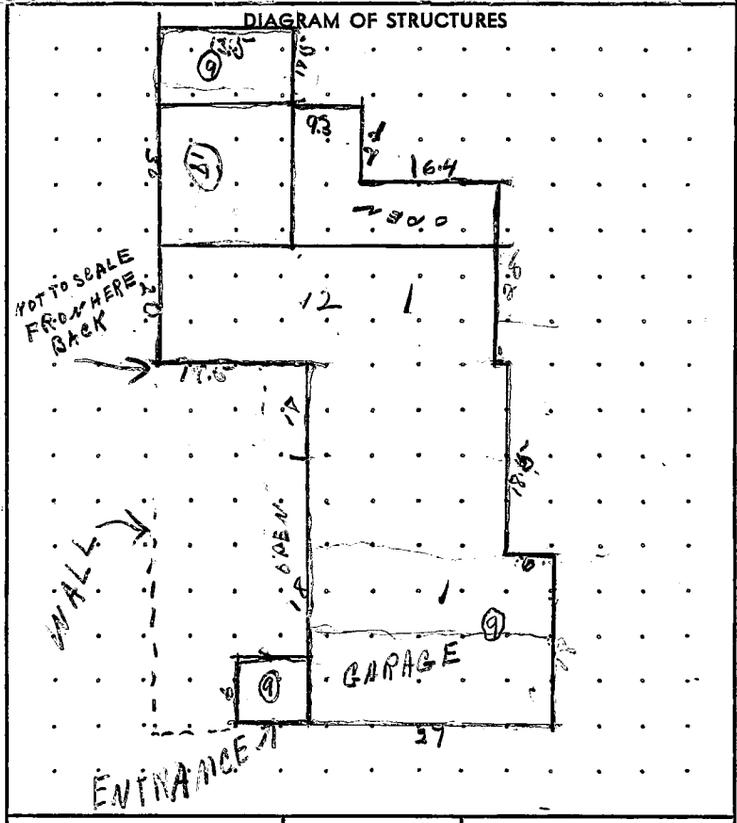


PHOTO A

PHOTO B

BUILDING COMPUTATIONS

No.	SIZES	SQ. FT.	HT.	CU. F.	Rate	COST	% COND.	AMOUNT
A	18.5 X 21	388	9	3492				
A	20 X 39	780	12	9360				
A	135 X 30	4050	18	72900				
A	17.5 X 17.5	355	9	2115				
A	ENTRANCE 6 X 8	48	9	432				
A	18 X 27 (½)	486	9	2187				
				24876	40	9950	80	7960

ROOMS

ROOMS			
LIVING	1		
DINING	1		
KITCHEN	1		
BED	4		
BATH	3		
DEN	1		

UNITS

UNITS			
STORES			
OFFICES			
APARTMENTS			
GARAGES			

FIELDED BY: DATE

APPRAISED BY DATE

	STORIES	FLOORS	HT. IN FT.	YR. BUILT	YEAR REMODELED	ORIGINAL COST	ADDED COST	EST. LIFE	RATE NEW	Physical Deterioration	Obsolescence	Total Depreciation %	CONDITION
A		2	18	37									
B													
C													

LAND FEATURES

WATER	✓
GAS	
ELECTRICITY	✓
TELEPHONE	✓
PAVED ST.	✓
IMPROVED ST.	
UNIMPROVED ST.	
ALLEY	
SIDEWALK	✓
CURB	
WHITE WAY	
ST. LIGHTING	✓
SANITARY SEWER	✓
STORM SEWER	✓
SEPTIC TANK	
OUTSIDE TOILET	
TOPOGRAPHY	A
LANDSCAPING	A
WELL	
LAWN SPRINKLER	1
PATIO	✓
WALLS	✓

LAND COMPUTATIONS

AC'S @ | SQ. FT. @
AC'S @ | SQ. FT. @

FRONT	DEPTH	FACTOR	UNIT	CORNER TRIANGLE	F. FOOT VALUE
50					25

LOT DIAGRAM

AMOUNT

1250

REGULAR	IRREGULAR	TRIANGLE	CORNER	MERGER

FACILITIES

SCHOOLS
CHURCHES
SHOPS
TRANSPORTATION
RECREATION

ZONED FOR

OBSOLESCENCE

DIST. TREND

SUMMARY	1940 AMT.	AMT.	AMT.	AMT.	AMT.	AMT.	AMT.
Gross Land Value							
Enhancing %							
Detracting %							
Net Land Value							
BUILDING							
Item / Amount							
A							
B							
C							
Enhancing %							
Detracting %							
Net Building Value							
Total Value							

Income & Market Data	YR.	YR.	YR.	YR.	YR.
Fair Annual Gross					
Fair Annual Net					
Rate					
Capitalized Value					
Sale—Legitimate					
Sale—Otherwise					
Owner's Estimate					
Other Appraisal					
Fair Market Value					
Mortgage					
Fire Insurance					

BUILDING PERMITS

NO.	DATE	KIND	AMT.
509	11/48	Rep	500

ASSESSMENT RECORD

YEAR	LAND	BUILDINGS	TOTAL	Exemptions	TAXABLE VALUE	REASONS FOR CHANGES
1938						
1939						
1940						
1941						
1942						
1943	800.	5670.	6470.			
1944	1250	7560	8810	H	3810	
1945		7960				
1946						
1947						
1948						
1949						
1950		7960				
1951						
1952						
1953						
1954						
1955						
1956						
1957						
1958						
1959						
1960						
1961						
1962						
1963						
1964						
1965						
1966						
1967						
1968						
1969						
1970						

RECORDED NAME	DEED	MT'G.	DATE	AMOUNT

DEPARTMENT FOR COMMUNITY SUSTAINABILITY
Planning Zoning Historic Preservation Division
1900 2ND Avenue North
Lake Worth Beach, FL 33461
561-586-1687

ATTACHMENT B – CURRENT PHOTOS

MEMORANDUM DATE: September 1, 2021

AGENDA DATE: September 8, 2021

TO: Chair and Members of the Historic Resources Preservation Board

RE: **320 North Lakeside Drive**

FROM: Jordan Hodges, Senior Preservation Coordinator
Abraham Fogel, Preservation Planner
Department for Community Sustainability

TITLE: HRPB Project Number 21-00100222: Consideration of a Certificate of Appropriateness (COA) for the construction of a new +/- 1,790 square foot addition for the single-family residence at 320 North Lakeside Drive; PCN #38-43-44-21-15-430-0050. The subject property is located within the Single-Family Residential (SF-R) zoning district and is a contributing resource to the Old Lucerne Local Historic District.

320
N LAKESIDE

NOTICE
COA - ADDITION

NOTICE
This property is being considered for a
HRPB Project # 21-00100222
COA - ADDITION
For information regarding this case call:
City of Lake Worth Beach PZHP
561-586-1687

DEPARTMENT FOR COMMUNITY SUSTAINABILITY
Planning Zoning Historic Preservation Division
1900 2ND Avenue North
Lake Worth Beach, FL 33461
561-586-1687

ATTACHMENT C – CONCEPTUAL PLAN DRAWINGS

MEMORANDUM DATE: September 1, 2021

AGENDA DATE: September 8, 2021

TO: Chair and Members of the Historic Resources Preservation Board

RE: **320 North Lakeside Drive**

FROM: Jordan Hodges, Senior Preservation Coordinator
Abraham Fogel, Preservation Planner
Department for Community Sustainability

TITLE: HRPB Project Number 21-00100222: Consideration of a Certificate of Appropriateness (COA) for the construction of a new +/- 1,790 square foot addition for the single-family residence at 320 North Lakeside Drive; PCN #38-43-44-21-15-430-0050. The subject property is located within the Single-Family Residential (SF-R) zoning district and is a contributing resource to the Old Lucerne Local Historic District.

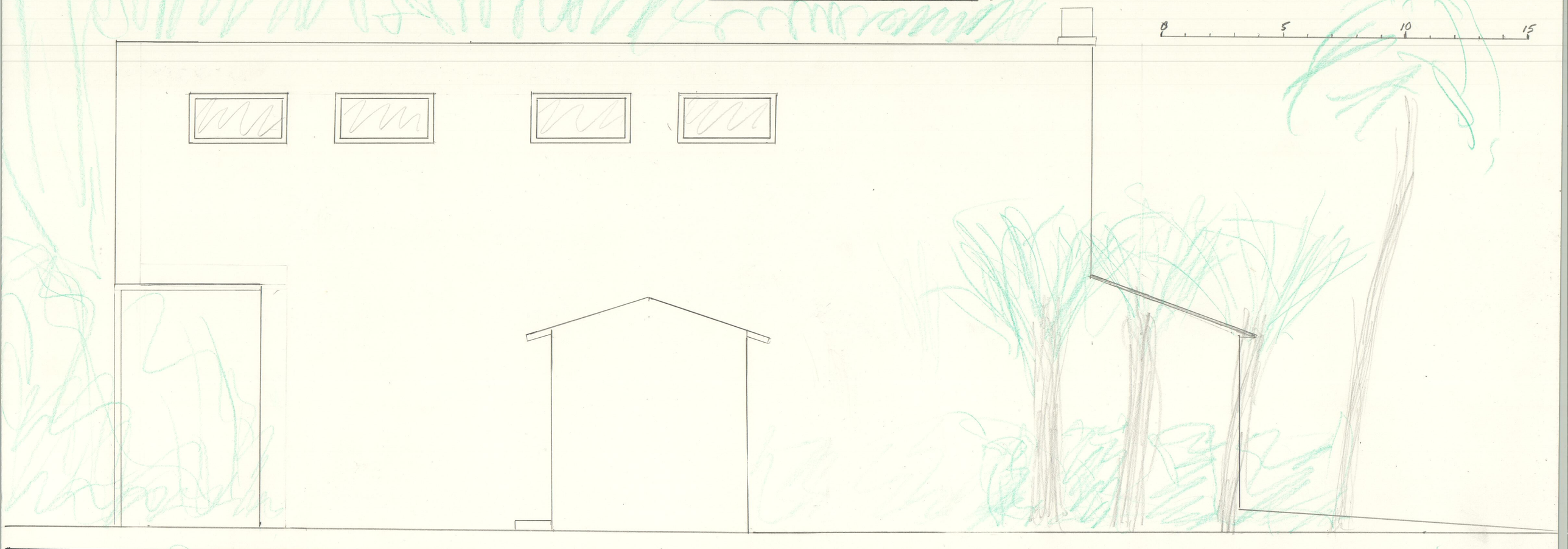
320 N. LAKESIDE DR.

EAST ELEVATION

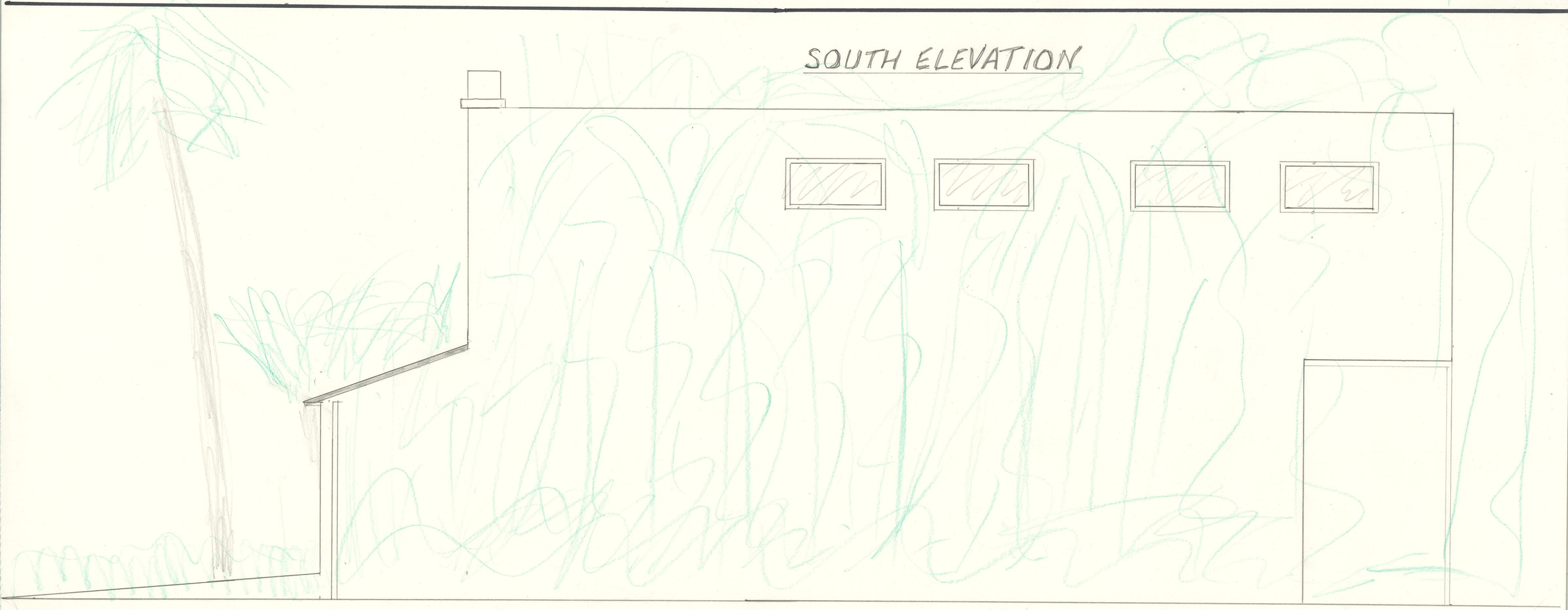
0 5 10 15 20

WEST ELEVATION

NORTH ELEVATION



SOUTH ELEVATION



DEPARTMENT FOR COMMUNITY SUSTAINABILITY
Planning Zoning Historic Preservation Division
1900 2ND Avenue North
Lake Worth Beach, FL 33461
561-586-1687

ATTACHMENT D – PROPERTY SURVEY

MEMORANDUM DATE: September 1, 2021

AGENDA DATE: September 8, 2021

TO: Chair and Members of the Historic Resources Preservation Board

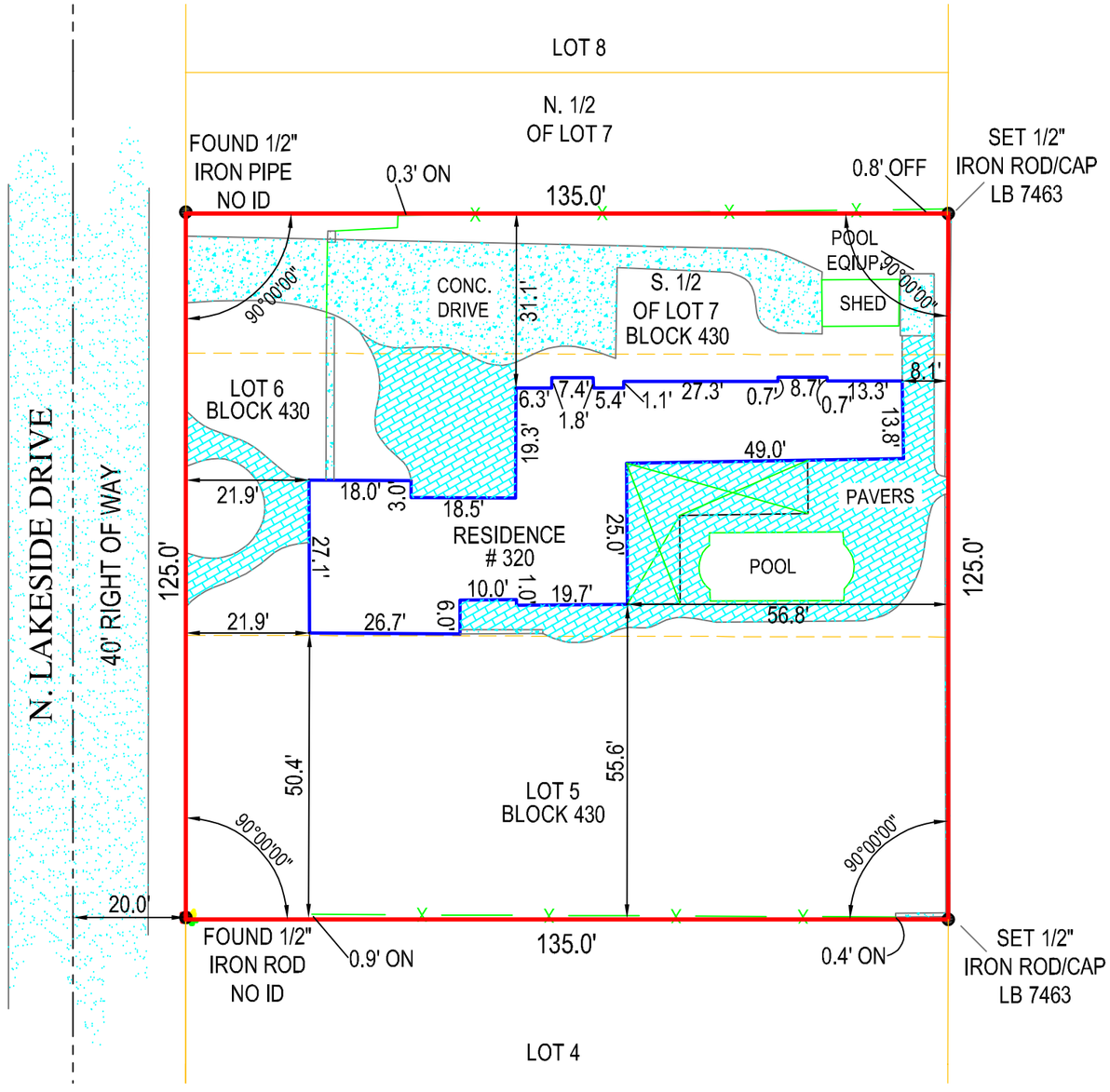
RE: **320 North Lakeside Drive**

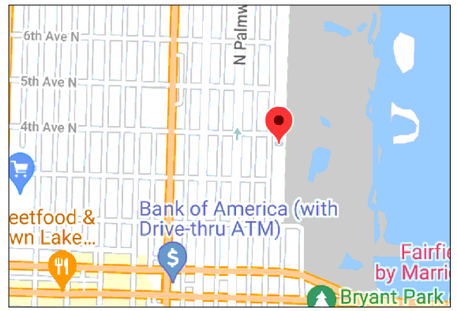
FROM: Jordan Hodges, Senior Preservation Coordinator
Abraham Fogel, Preservation Planner
Department for Community Sustainability

TITLE: HRPB Project Number 21-00100222: Consideration of a Certificate of Appropriateness (COA) for the construction of a new +/- 1,790 square foot addition for the single-family residence at 320 North Lakeside Drive; PCN #38-43-44-21-15-430-0050. The subject property is located within the Single-Family Residential (SF-R) zoning district and is a contributing resource to the Old Lucerne Local Historic District.

LEGAL DESCRIPTION

LOTS 5, 6 AND THE SOUTH 1/2 OF LOT 7, BLOCK 430, PALM BEACH FARMS COMPANY PLAT NO. TWO LUCERNE TOWNSITE (ALSO KNOWN AS TOWN OF LAKE WORTH), ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE 34, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.





VICINITY MAP
NOT TO SCALE

LEGEND

A/C	AIR CONDITIONER
B.F.P.	BACKFLOW PREVENTER
C.B.S.	CONCRETE BLOCK STRUCTURE
EL.	ELEVATION
F.F.	FINISHED FLOOR
I.D.	IDENTIFICATION
L	LENGTH
L.B.	LICENSED BUSINESS
M	MEASURED
N.A.V.D.	NORTH AMERICAN VERTICAL DATUM
N.G.V.D.	NATIONAL GEODETIC VERTICAL DATUM
O.R.B.	OFFICIAL RECORDS BOOK
P	PLAT
PSM	PROFESSIONAL SURVEYOR AND MAPPER
P.R.M.	PERMANENT REFERENCE MONUMENT
PG.	PAGE
P.B.	PLAT BOOK
PK	PARKER KYLON NAIL
R	RADIUS
℄	CENTERLINE
&	AND
#	NUMBER
Δ	DELTA OR CENTRAL ANGLE
	CONCRETE
----------	CHAIN LINK FENCE
----------	WOOD FENCE
----------	MISCELLANEOUS FENCE

FLOOD ZONE:
COMMUNITY NUMBER: 120213
PANEL: 12099C0781
SUFFIX: F
BASE FLOOD ELEVATION: N/A
FIRM DATE: 10-05-2017
FIRM EFFECT./REV DATE: 10-05-2017

BOUNDARY SURVEY OF
320 NORTH LAKESIDE DRIVE
LAKE WORTH, FL 33460
PREPARED FOR
RACHEL LORENTZENS

Project C-16267
Date 07-07-2021
Scale 1"=25'
Sheet 1 OF 1

NOTES:
1. LEGAL DESCRIPTION PROVIDE BY CLIENT
2. NO SEARCH OF THE PUBLIC RECORD FOR THE PURPOSE OF ABSTRACTING TITLE WAS PERFORMED BY THIS OFFICE
3. NO SUBSURFACE IMPROVEMENTS WERE LOCATED AS PART OF THIS SURVEY
4. ALL ANGLES OR BEARINGS AND DISTANCES SHOWN HEREON ARE BOTH RECORD AND MEASURED UNLESS OTHERWISE NOTED
5. SOME FEATURES MAY NOT BE AT SCALE IN ORDER TO SHOW DETAIL.

DATE OF FIELD WORK: 07-07-2021
DATE OF MAP: 07-09-2021

SURVEYORS CERTIFICATE:
I HEREBY CERTIFY THAT THIS BOUNDARY SURVEY IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY PREPARED UNDER MY DIRECTION. NOT VALID WITHOUT A RAISED EMBOSSED SEAL AND SIGNATURE.

(SIGNED)

KENNETH J. OSBORNE
PROFESSIONAL SURVEYOR AND MAPPER #6415

COMPASS SURVEYING
6250 N. MILITARY TRAIL
SUITE 102
WEST PALM BEACH, FL 33407
www.compasssurveying.net
PHONE: 561.640.4800 FAX: 561.640.0576
LB. 7463

DEPARTMENT FOR COMMUNITY SUSTAINABILITY
Planning Zoning Historic Preservation Division
1900 2ND Avenue North
Lake Worth Beach, FL 33461
561-586-1687

ATTACHMENT E – ARCHITECTURAL PLAN SET

MEMORANDUM DATE: September 1, 2021

AGENDA DATE: September 8, 2021

TO: Chair and Members of the Historic Resources Preservation Board

RE: **320 North Lakeside Drive**

FROM: Jordan Hodges, Senior Preservation Coordinator
Abraham Fogel, Preservation Planner
Department for Community Sustainability

TITLE: HRPB Project Number 21-00100222: Consideration of a Certificate of Appropriateness (COA) for the construction of a new +/- 1,790 square foot addition for the single-family residence at 320 North Lakeside Drive; PCN #38-43-44-21-15-430-0050. The subject property is located within the Single-Family Residential (SF-R) zoning district and is a contributing resource to the Old Lucerne Local Historic District.

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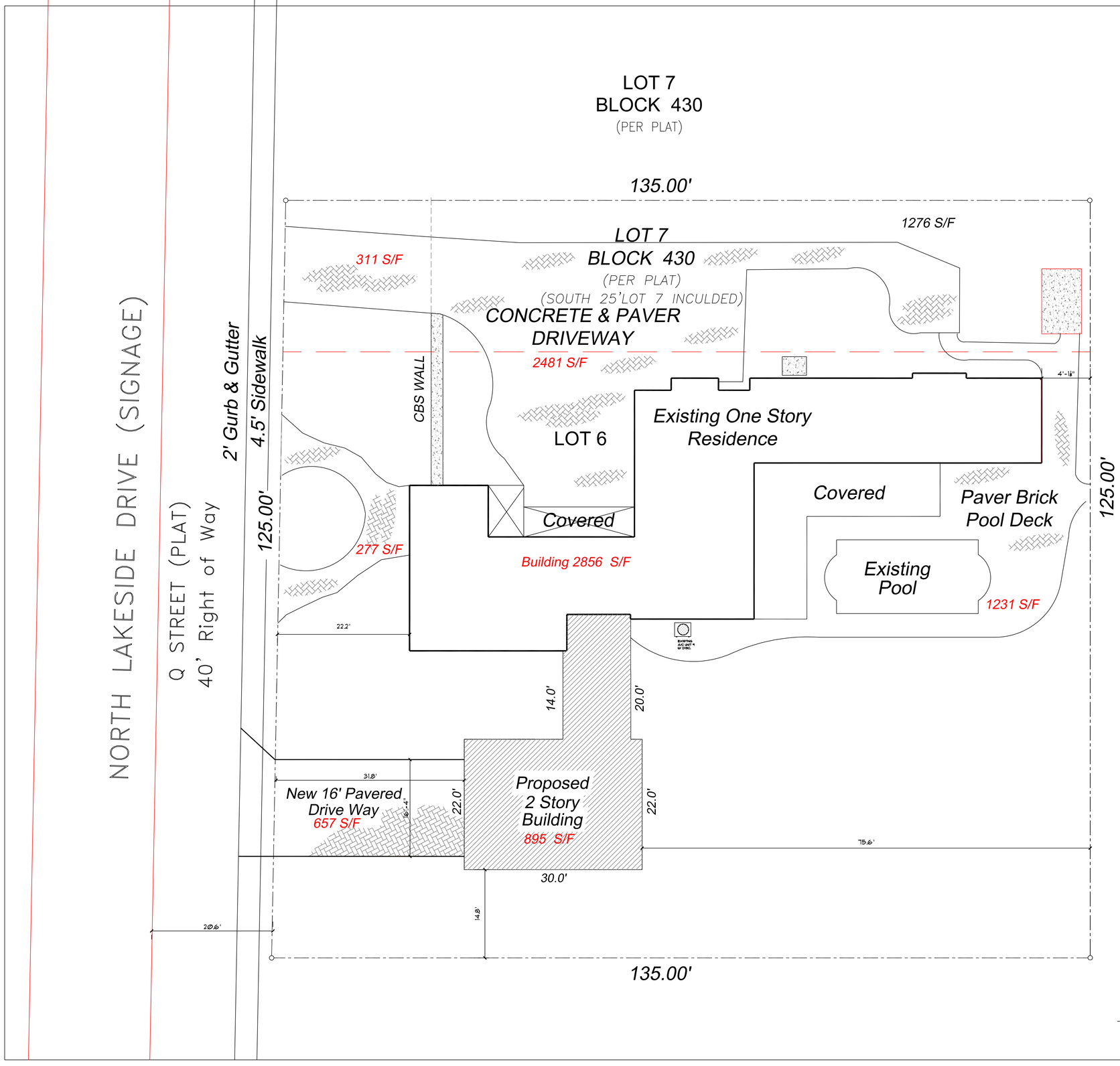


Site Data Table

Zoning District: Single Family Residential

https://library.municode.com/fl/lake_worth_beach/codes/code_of_ordinances?nodeId=PTIICOOR_CH23LADERE_ART3ZODI_DIV2REDI_S23.3-7.5MIRE

	Code Limitation	Existing	Proposed
Lot Area	5,000 sf Min	16,875 sf	
Lot Width	50'-0" min	125.00'	125'-0"
Building Height	30'-0"		+19'-9" A.F.F.
Wall Height	19'-9"		+19'-9"
Setback - Front	20'-0"		31'-8"
Setback - Sides			14'-8"
Setback - Rear	13'-6"		75'-0"
Entire Lot Impermeable Surface Total	60% (10,125 s/f)	6903 sf	8455 s.f.
Front Yard Impermeable Surface Total	900 sq. ft. pervious & Landscaping	**588 sf**	**1245 s.f.**
Building Coverage	30% (5,062 .5 sf)	2,856 sf	3751 s.f.
Floor Area Ratio	0.45 (7593.75 sf)	16.3%	21.4%
Base Flood Elevation (NAVD)		4.48 NAVD	
Parking	2 spaces	4 SPOTS	4 NEW SPOTS

Graphic Scale

10.0' 20.0' 40.0'

Master Site Plan
1/8" Scale

NORTH

CLIENT NAME AND ADDRESS:
M/M Lorentzen
320 N LAKESIDE DR
Lake Worth Beach
203-561-0708
Lorentzens@Aol.com
Per Lorentzen 203-561-9755
perlorentzen53@gmail.com

New Construction
2 Story Garage / Living Area

Jay Jojas P.E.
CONSULTING ENGINEER
FLORIDA REG. 54859
66 Edinburgh Drive
Palm Beach Gardens, Fl
561-644-2537 / Email: Artecho@Comcast.com

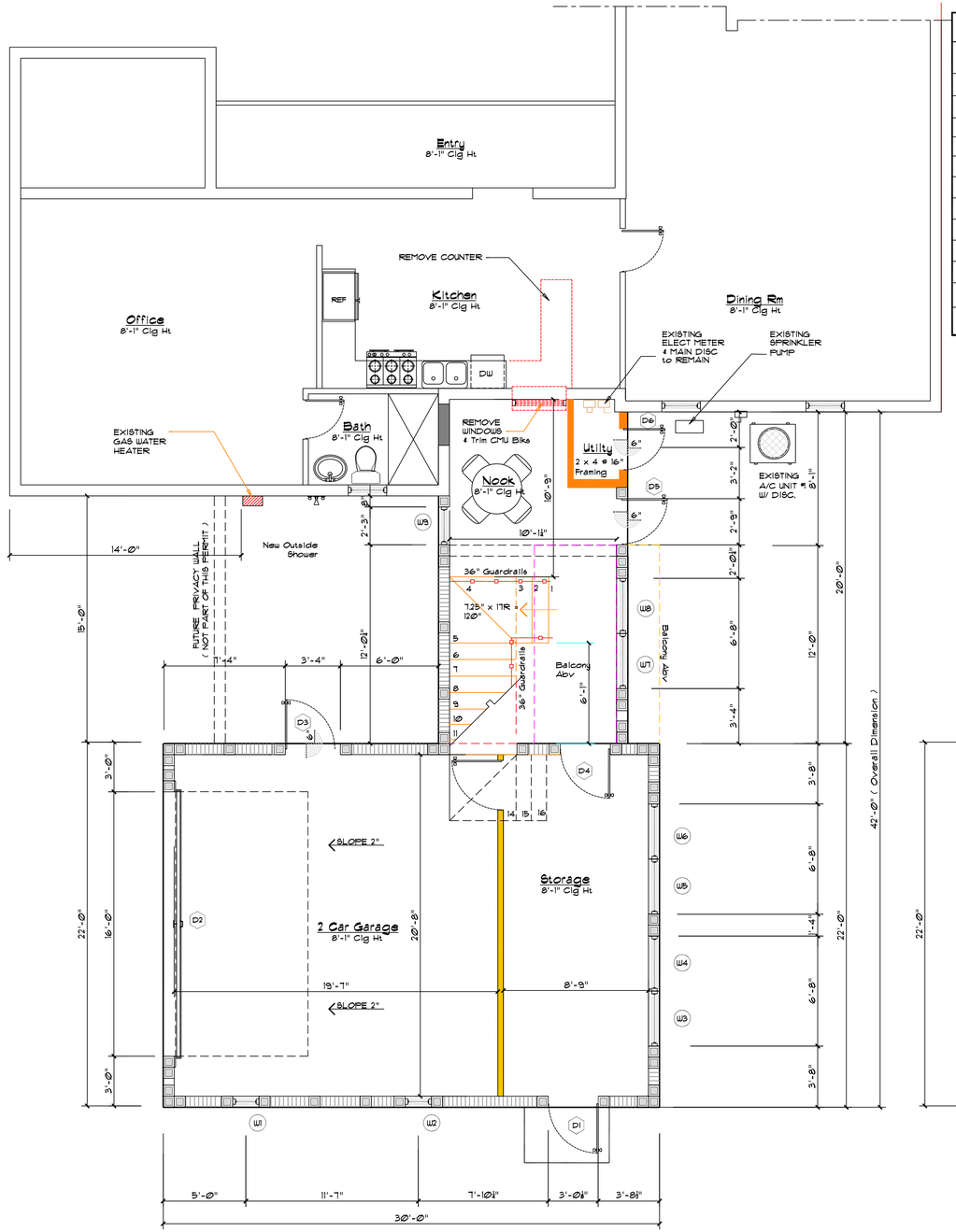
JOB NUMBER	2020-07
DATE	07-31-21
DRAWN BY	L. R. C.
CHECKED BY	J.R.

REVISIONS

SITE PLAN

SHEET
SP-1
OF

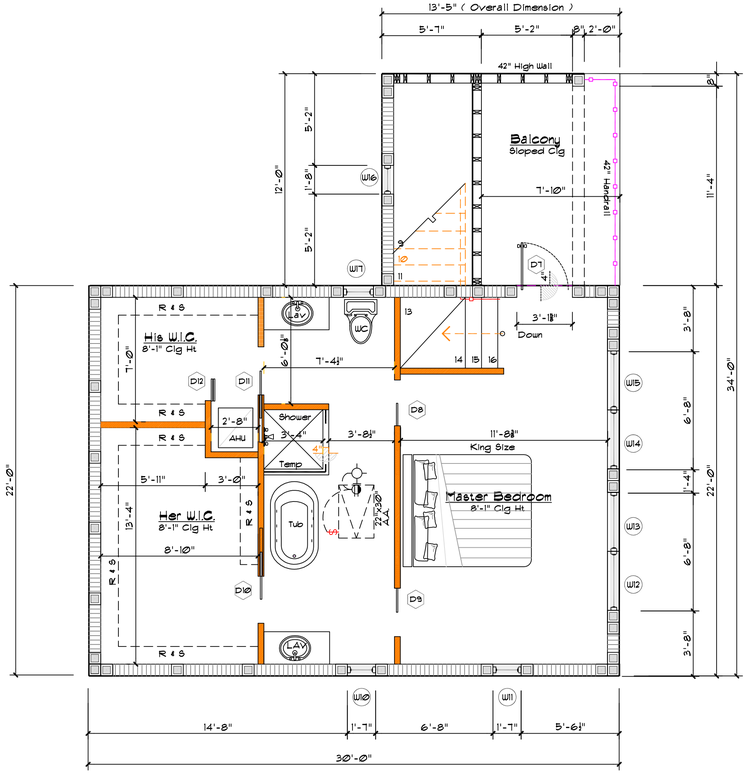
ENGINEER



NORTH

1st Floor Plan

Scale: 1/4" = 1'-0"



NORTH

2nd Floor Plan

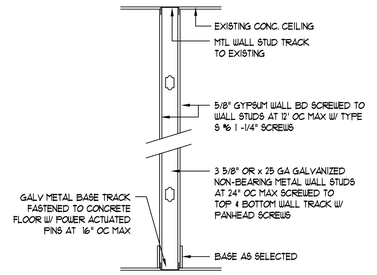
Scale: 1/4" = 1'-0"

Door Schedule

SYMBOL	SIZE			FRAME	MATERIAL	REMARKS	N.O.A.
	WIDTH	HEIGHT	THICK				
D1	3'-0"	6'-8"	1 3/8" MIN.	ALUM.	METAL	SWING DOOR	Raynor Garage Door N.O.A. 20-0811.03 Ex. Date : Oct 20, 2025
D2	16'-0"	7'-0"	1 3/8" MIN	ALUM.	METAL	O.H.G.D.	EXTERIOR FL-15210.1
D3	3'-0"	6'-8"				SWING DOOR	EXTERIOR FL-15210.1
D4	3'-0"	6'-8"				SWING DOOR	EXTERIOR FL-15210.1
D5	3'-0"	6'-8"				SWING DOOR	EXTERIOR FL-15210.1 Fire Rated Dr
D6	2'-6"	6'-8"				SWING DOOR	EXTERIOR FL-15210.1
D7	3'-0"	6'-8"				SWING DOOR	EXTERIOR FRENCE DR
D8	2'-8"	6'-8"				POCKET DOOR	INTERIOR DOOR
D9	2'-8"	6'-8"				POCKET DOOR	INTERIOR DOOR
D10	2'-8"	6'-8"				POCKET DOOR	INTERIOR DOOR
D11	2'-8"	6'-8"				POCKET DOOR	INTERIOR DOOR
D12	2'-6"	6'-8"				Bi-Fold DR	INTERIOR DOOR / Luverd

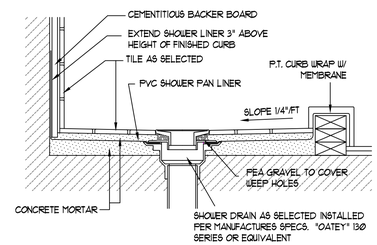
Window Schedule

SYMBOL	SIZE (Width/Height)	TYPE	N.O.A.	REMARKS
W1	SH-15 19"w x 63" H	ALUM/SINGLE HUNG	17-0630.03/May 03,2022 SH-800	IMPACT GLASS
W2	SH-15 19"w x 63" H	ALUM/SINGLE HUNG	17-0630.03/May 03,2022 SH-800	IMPACT GLASS
W3	SH-24 37"w x 51" H	ALUM/SINGLE HUNG	17-0630.03/May 03,2022 SH-800	EGRESS
W4	SH-24 37"w x 51" H	ALUM/SINGLE HUNG	17-0630.03/May 03,2022 SH-800	IMPACT GLASS
W5	SH-24 37"w x 51" H	ALUM/SINGLE HUNG	17-0630.03/May 03,2022 SH-800	IMPACT GLASS
W6	SH-24 37"w x 51" H	ALUM/SINGLE HUNG	17-0630.03/May 03,2022 SH-800	IMPACT GLASS
W7	SH-24 37"w x 51" H	ALUM/SINGLE HUNG	17-0630.03/May 03,2022 SH-800	IMPACT GLASS
W8	SH-24 37"w x 51" H	ALUM/SINGLE HUNG	17-0630.03/May 03,2022 SH-800	IMPACT GLASS
W9	SH-13 19"w x 48" H	ALUM/SINGLE HUNG	17-0630.03/May 03,2022 SH-800	IMPACT GLASS
W10	SH-13 19"w x 48" H	ALUM/SINGLE HUNG	17-0630.03/May 03,2022 SH-800	IMPACT GLASS
W11	SH-13 19"w x 48" H	ALUM/SINGLE HUNG	17-0630.03/May 03,2022 SH-800	IMPACT GLASS
W12	SH-24 37"w x 51" H	ALUM/SINGLE HUNG	17-0630.03/May 03,2022 SH-800	IMPACT GLASS
W13	SH-24 37"w x 51" H	ALUM/SINGLE HUNG	17-0630.03/May 03,2022 SH-800	IMPACT GLASS
W14	SH-24 37"w x 51" H	ALUM/SINGLE HUNG	17-0630.03/May 03,2022 SH-800	IMPACT GLASS
W15	SH-24 37"w x 51" H	ALUM/SINGLE HUNG	17-0630.03/May 03,2022 SH-800	IMPACT GLASS
W16	SH-13 19"w x 48" H	ALUM/SINGLE HUNG	17-0630.03/May 03,2022 SH-800	IMPACT GLASS
W17	SH-13 19"w x 48" H	ALUM/SINGLE HUNG	17-0630.03/May 03,2022 SH-800	OCSCURED



Interior Wall

3/4" = 1'-0" SCALE



Shower Pan Detail

3/4" = 1'-0" SCALE

Graphic Scale

10.0' 20.0' 40.0'

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CLIENT NAME AND ADDRESS:

M/M Lorentzen

320 N LAKESIDE DR
Lake Worth Beach
203-561-0708
Lorentzens@Aol.com
G.C. Chris 912-484-0721

New Construction
2 Story Garage / Living Area

Jay Jojas P.E.
CONSULTING ENGINEER
FLORIDA REG. 54859
66 Edinburgh Drive
Palm Beach Gardens, Fl
561-644-2537 / Email: Artecho@Comcast.com

JOB NUMBER	2020-07
DATE	07-31-21
DRAWN BY	L. R. C.
CHECKED BY	J.R.

REVISIONS

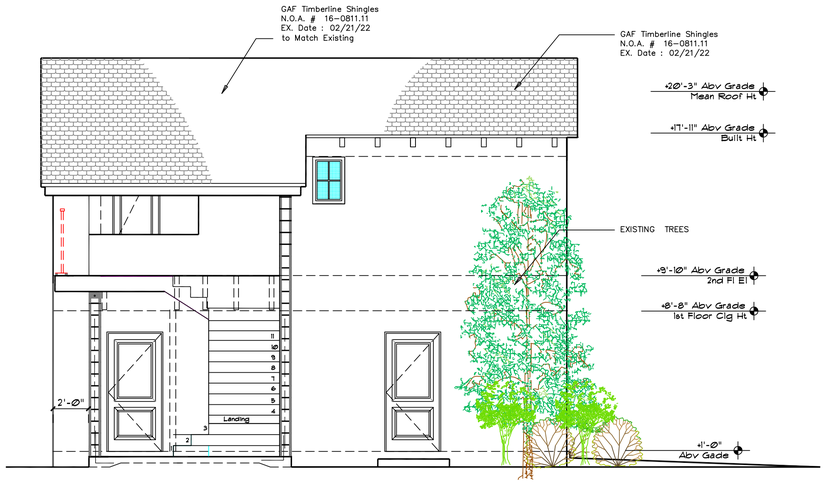
FLOOR PLAN

SHEET

A1

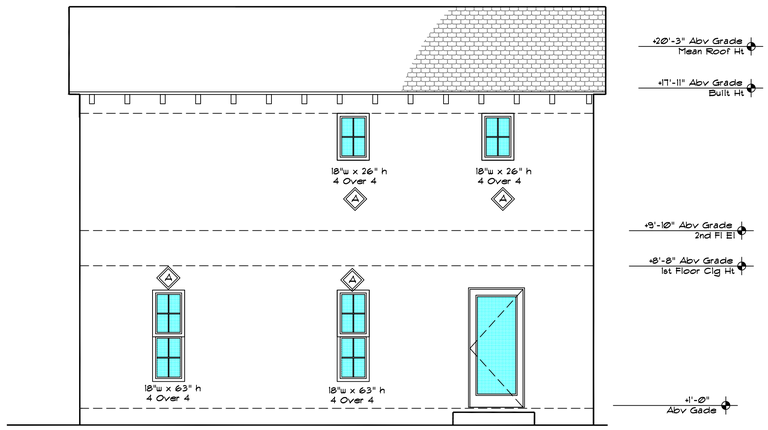
OF

ENGINEER



Proposed North Elevation

Scale: 1/4" = 1'-0"

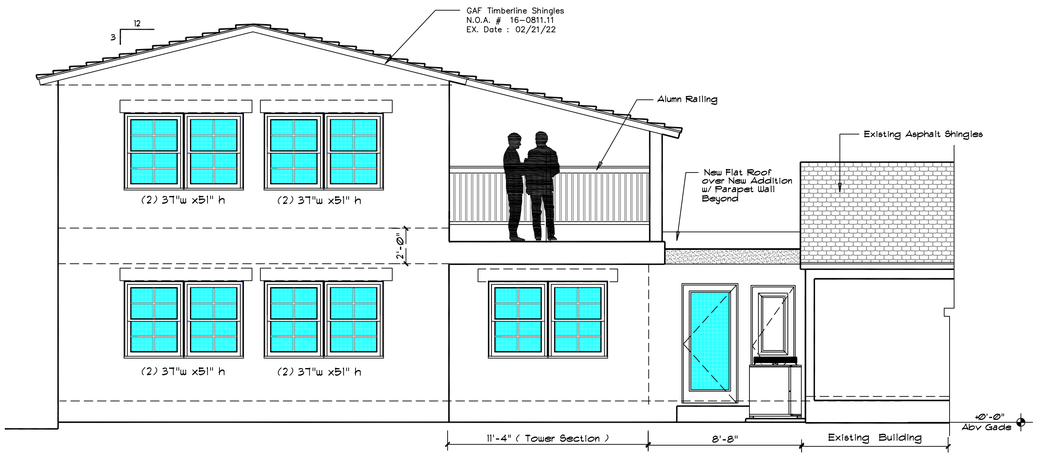


Proposed South Elevation

Scale: 1/4" = 1'-0"

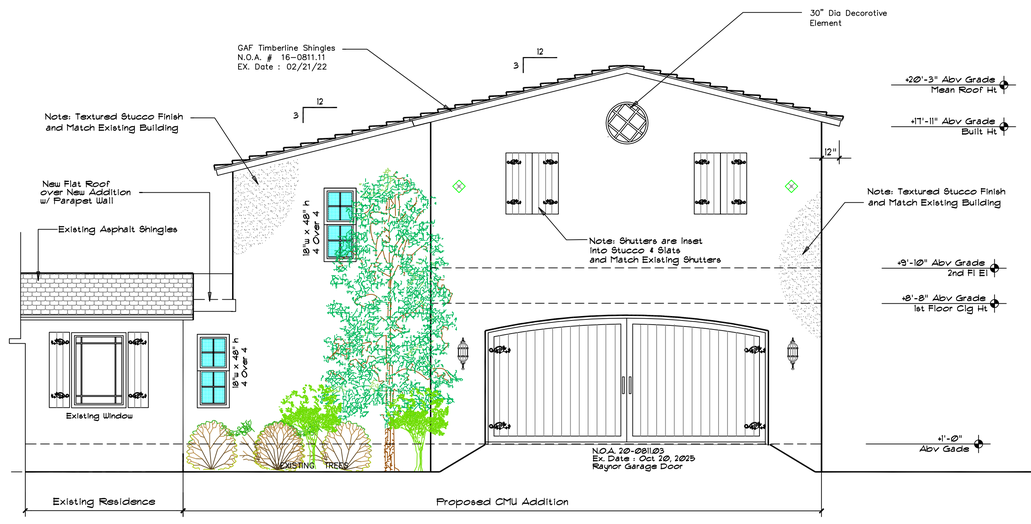
Graphic Scale

10.0' 20.0' 40.0'



Proposed East Side Elevation

Scale: 1/4" = 1'-0"



Proposed West Side Elevation

Scale: 1/4" = 1'-0"

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CLIENT NAME AND ADDRESS:

M/M Lorentzen

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Lake Worth Beach
203-561-9755
Lorentzens@Aol.com
G.C. Chris 912-484-0721

New Construction
2 Story Garage / Living Area

Jay Jojas P.E.
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FLORIDA REG. 54859
66 Edinburgh Drive
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561-644-2537 / Email: Artecho@Comcast.com

JOB NUMBER	2020-07
DATE	07-31-21
DRAWN BY	L. R. C.
CHECKED BY	J.R.

REVISIONS

ELEVATIONS

SHEET

A2

OF

ENGINEER

 # 320 Lakeside Drive

Proposed Streetscape

DEPARTMENT FOR COMMUNITY SUSTAINABILITY
Planning Zoning Historic Preservation Division
1900 2ND Avenue North
Lake Worth Beach, FL 33461
561-586-1687

ATTACHMENT F – APPLICANT JUSTIFICATION STATEMENT

MEMORANDUM DATE: September 1, 2021

AGENDA DATE: September 8, 2021

TO: Chair and Members of the Historic Resources Preservation Board

RE: **320 North Lakeside Drive**

FROM: Jordan Hodges, Senior Preservation Coordinator
Abraham Fogel, Preservation Planner
Department for Community Sustainability

TITLE: HRPB Project Number 21-00100222: Consideration of a Certificate of Appropriateness (COA) for the construction of a new +/- 1,790 square foot addition for the single-family residence at 320 North Lakeside Drive; PCN #38-43-44-21-15-430-0050. The subject property is located within the Single-Family Residential (SF-R) zoning district and is a contributing resource to the Old Lucerne Local Historic District.

320 N Lakeside Drive proposed addition: Justification Statement

The existing 2-bedroom residence sits on a 125' wide lot (2.5x standard lot size), at approximately 4.5' above sea level (flood zone AE). Most of the house is at or very close to grade, with only a small second floor that is above BFE (currently 7'; pending 8'). There is no garage.

It is proposed to add a bedroom, bath and closets on a single floor elevated above BFE in conformity with FEMA requirements, in the 50' wide empty lot on the south side of the existing structure. The ground floor is to comprise a 2-car garage and a storage area. The connector between the new and existing structures will include the lower portion of the stairs to the new living space.

The height and width of the new addition will be very similar to the 2-story portion of the house immediately to the south (it will, however, be much shorter in depth). The 4 closest residences on the west side of the street and the two residences to the south are all 2-story structures.

The exterior of the addition is proposed to be painted stucco to match the existing structure.

The roof to be shallow-pitched asphalt shingle to match the existing structure.

There are a variety of window styles on the existing structure. The only windows on the street-facing west facade are 2 prairie-style 3'x4' casements flanked by solid wood decorative colonial shutters. These windows are not in keeping with the Spanish-influence style of the house, nor are they used elsewhere.

It is therefore proposed to use 18"W x 53"H 4-over-4 double-hung windows on the north and south sides of the addition, to match the 17 such windows used on the existing house's north and south first floor facades.

The east facade will employ mulled or ganged 37"W x 63"H double-hung windows similar to east-facing windows on the existing structure.

There are two shuttered windows shown on the west facade above the garage door. These are proportionally similar to the prairie-style casement windows with solid wood shutters on the west facade of the existing structure. These shuttered windows in the west facade of the addition are not actual windows because they would open into closet space on the inside, which is not desirable. However, to correctly simulate actual windows, the solid wood t&g plank shutters, similar to the existing shutters, will be recessed to be flush with the stucco. A further benefit of this approach is that it will obviate the use of stylistically inappropriate prairie-style casements not found anywhere else on the existing structure.

The 2-car garage door opening will have an eyebrow arch and will be faced with 6" t&g cypress vertical planks finished with synthetic varnish to match the existing gate and front door that also

face the street. While a single 2-car garage door is perhaps not "period", there are a number of reasons for choosing it:
> the 2:1 width-to-height aspect ratio will match that of the existing gate, creating a more coherent overall design.
> the door's dimensions are similar to the 2-car garage door on the 2-story house immediately to the south.
> the higher arch of the wider door will "fill" more of the west facade, and better matches the proportions of the structure's west facade.
> the wider, centered opening provides more flexibility for mixed use of the garage for vehicle(s) and storage.
> it is in conformity with Article 5 S23.5-4 k) 3. A. 12.

The west facade will be set back approximately 10' from the existing facade and 37' from the street, giving prominence to the existing front entrance. The connector to the addition will be 55' from the street.

The proposed addition will be well-screened on the other three sides. A thick palm hedgerow on the southern border of the property will screen the new addition from properties to the south. The new structure will be 80' from the north property line, and an arica palm hedgerow and the existing residence will screen it from properties to the north. The east facade will be about 70' from the east property line that borders the municipal golf course, and the numerous existing palms, bamboo, etc on that side will screen it to the east.

No trees will need to be removed or moved, with the exception of 2 small palms which will be moved 15' north from in front of the garage to in front of the connector.

Thank you very much for your consideration.

Rachel and Per Lorentzen

DEPARTMENT FOR COMMUNITY SUSTAINABILITY
Planning Zoning Historic Preservation Division
1900 2ND Avenue North
Lake Worth Beach, FL 33461
561-586-1687

ATTACHMENT G – DESIGN GUIDELINES: MEDITERRANEAN REVIVAL

MEMORANDUM DATE: September 1, 2021

AGENDA DATE: September 8, 2021

TO: Chair and Members of the Historic Resources Preservation Board

RE: **320 North Lakeside Drive**

FROM: Jordan Hodges, Senior Preservation Coordinator
Abraham Fogel, Preservation Planner
Department for Community Sustainability

TITLE: HRPB Project Number 21-00100222: Consideration of a Certificate of Appropriateness (COA) for the construction of a new +/- 1,790 square foot addition for the single-family residence at 320 North Lakeside Drive; PCN #38-43-44-21-15-430-0050. The subject property is located within the Single-Family Residential (SF-R) zoning district and is a contributing resource to the Old Lucerne Local Historic District.

Mediterranean Revival

MEDITERRANEAN REVIVAL

Lake Worth Beach, Fla.

A Style Introduction:

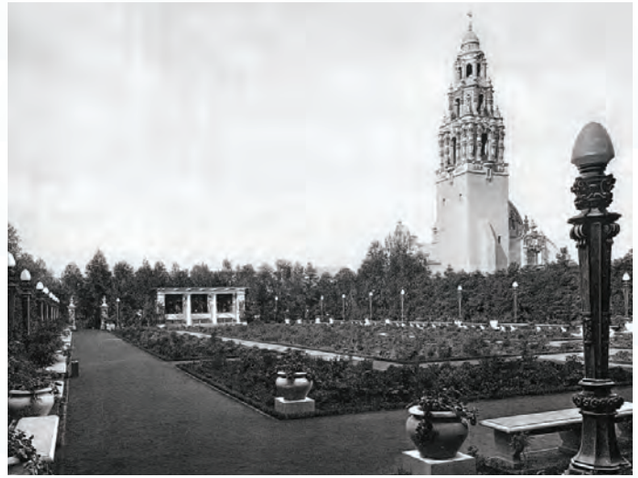
In architecture, the term “Revival” means a return to, or a reference to, a type of architecture that originated somewhere else or in a previous era. Mediterranean Revival, also known as Spanish Colonial Revival, swept the country throughout the 1920s and remained a steady style of choice for more than two decades. The type of architecture it sought to “revive” was the formidable and highly stylized buildings found around the Mediterranean Sea, particularly borrowing design elements from Spanish, French, Italian, and Moorish influences.

In the 19th and 20th Centuries, World’s Fairs and Expositions (Expos) were often used by countries to commemorate great moments in history or usher in new eras by showing off the latest in architectural and engineering advancements, art, culture, and other design inspirations. The 1915 Panama-California International Exposition in San Diego, California, was created to celebrate one of these great moments: the building of the Panama Canal.

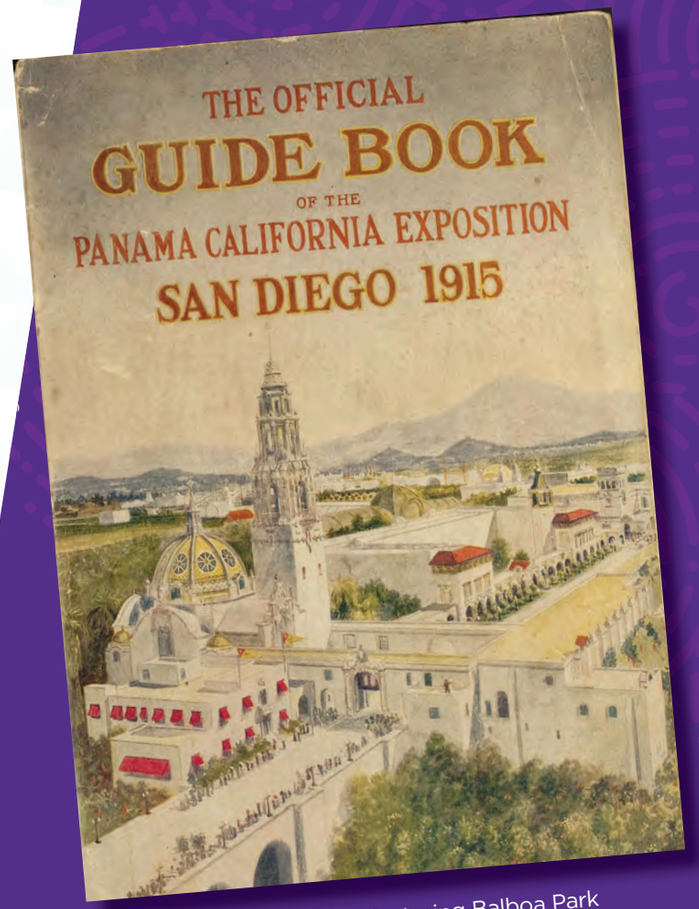
When the Panama Canal opened in 1914, it was a momentous occasion for the whole world. Because of this man-made canal, ships would be able to cross more safely and quickly from the Atlantic to the Pacific Ocean; it was one of the most ambitious and difficult engineering projects ever to be undertaken. The

1915 Expo ran between February and December, and was almost an entire city unto itself. The supervisory architect for the project, Bertram Goodhue from New York, wanted to move away from the Neoclassical style used in previous world's fairs, and designed the majority of the buildings with heavy Moorish, Persian, Spanish and Italian influences. With millions of people visiting the fair, this eventually created a demand for architecture around the rest of the country that was reminiscent of those exotic places in the Mediterranean.

Mediterranean Revival became increasingly popular in those parts of the country that already had ties to Spanish Colonial heritage: California, New Mexico, Texas, Arizona, and Florida. Interestingly, though, Florida had already been experiencing a flourish of Mediterranean Revival at least a full two decades prior to the 1915 Expo in San Diego.



Balboa Park in 1915
(Photo courtesy Balboa Park Conservancy).



Guide Book cover featuring Balboa Park and exposition buildings, 1915.

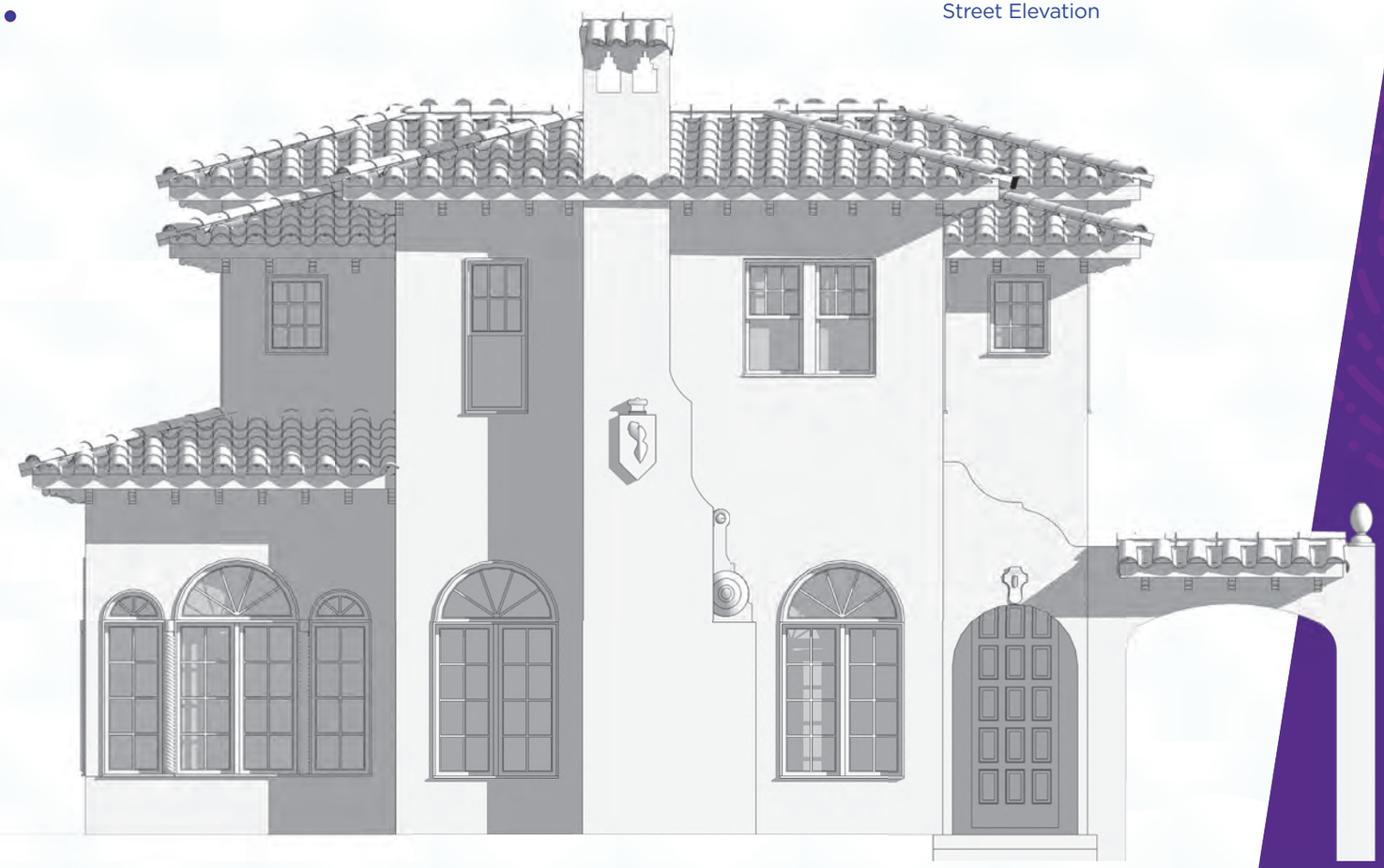
MEDITERRANEAN REVIVAL

Postcard of the Ponce de Leon Hotel, Saint Augustine, Fla.

Henry Flagler was instrumental in the development of the east coast of Florida. Flagler, who had made his fortune in the oil business, had come to see Florida as a way to further enhance his profits and began advertising it as an exotic vacation wonderland. Starting in St. Augustine, he built the Ponce de Leon Hotel in 1888, in the Spanish Renaissance style. His railroad company, the Florida East Coast Railway, had a stop in West Palm Beach by 1894, and finally reached Miami in 1896. Along the way, Flagler built hotels for his travelers, some of which were designed in the Mediterranean style. After all, his goal was to attract visitors (and their money) from the frigid northern states. He wanted to present them with something completely different from what they were used to; something exotic and new.

With the cities of Florida beginning to boom in the early 1920s, renowned architects such as Addison Mizner, Maurice Fatio, Walter DeGarmo, and firm partners Kiehnel and Elliott further cemented the use of Mediterranean Revival as the style of choice. Many developers, such as George Merrick did when dreaming up Coral Gables, used the Mediterranean Revival style almost exclusively in the planning of their communities. The warm and balmy climate of Florida, with its beautiful beaches and crystal blue waters, was the perfect place to borrow design inspiration from the Mediterranean.

Mediterranean Revival
Street Elevation

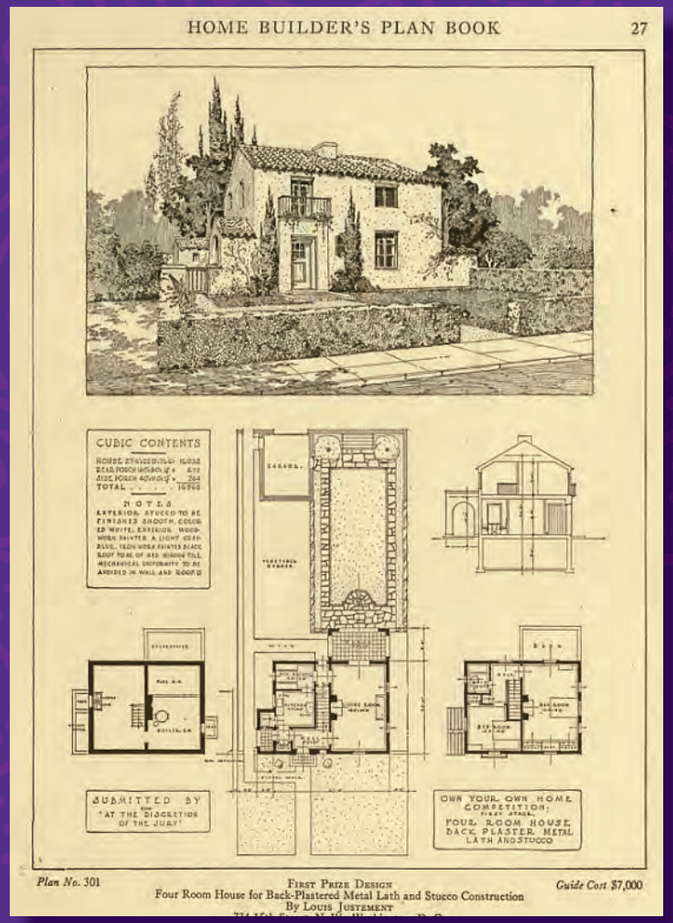


A Style Described:

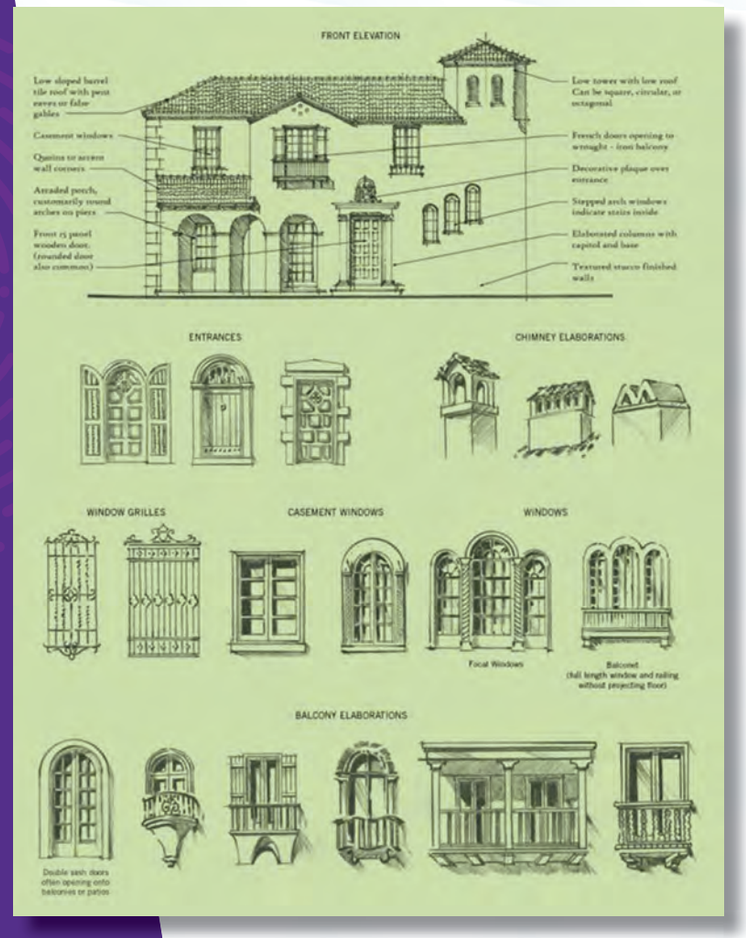
Mediterranean Revival buildings are not actually replications of any particular style found elsewhere, but tend to result from architects blending elements of architecture from Spain, France, Morocco, and Italy.

The massing of the building is much heavier in Mediterranean architecture, and often asymmetrical. "Med-Rev" buildings feel very solid; thick walls are covered with stucco, which can be smooth or have a rough finish. One of the most recognizable features of this style is the use of clay barrel tile as a roofing material. Roofs are typically gabled or cross-gabled and can have multiple roof levels. Circular or square entrance towers and bell towers help create the feeling of grandeur, and large wooden front doors often have cast concrete pediments or stone door surrounds over them. Windows are almost always casement windows with this style, though some do have double hung sash, and most originally were all made of wood.

MEDITERRANEAN REVIVAL



Home Builders Plan Book, 1921.



Elements of Mediterranean style homes

There is a heavy use of the arch; for doorways, interior wall openings, arcades, and colonnaded courtyards. Columns are also very prominent, and often are seen as twisted columns between arches or engaged columns on either side of a doorway (an engaged column is half of a column stuck to the wall). Though not necessarily needed in most of Florida's hot, humid climate, large fireplaces were usually a prominent feature, with ornate mantels and surrounds.

What sets this style apart from anything previous in South Florida architecture is the obsessive use of ornamentation on the building. Building elements were made out of a variety of materials including terra cotta, cast stone, and wood. The use of glazed ceramic tiles, wrought iron balconies and railings were common, and fountains, pergolas and trellises were often found within courtyards or in the surrounding landscape.

A Style Defined:

1. **Roofs:**
   - Terra cotta barrel tile roofs are standard.
   - Houses often have multiple levels of roofs and can be hipped, gabled, or flat.

2. **Exterior Finishes and Features:**
   - Can be one story, but often two-stories in parts.
   - Known for its elaborate ornamentation, usually around windows and doors.
   - Stucco walls are most common, but on occasion stone was used as a primary building material.
   - Use of wood (sometimes pecky cypress) for doors, exposed rafters, wall brackets, balustrades
   - Composition of the building massing is often asymmetrical.
   - Wings and loggias designed around patios or courtyards.
   - Use of brightly colored ceramic tiles on floors and on stair risers.

3. **Doors & Windows:**
   - Arched windows are common, and often in groups of two or three.
   - Windows are usually wood casement or double-hung.
   - Doorways often have carved stonework, spiral columns, and pilasters.
   - Canvas and wood awnings were often used to shield windows from the sun.

4. **Balconies/Terraces:**
   - Use of wrought iron for window and balcony grills, wrought iron sconces
   - Both functional and ornamental balconies are common. Often flat roofs serve as terraces.

5. **Chimney:**
   - Masonry built with either a stone, brick, or stucco finish.
   - Flues are commonly roofed or have decorative chimney caps.

MEDITERRANEAN REVIVAL

GALLERY OF EXAMPLES

Lake Worth Beach, Florida

Lake Worth Beach, Florida

Lake Worth Beach, Florida

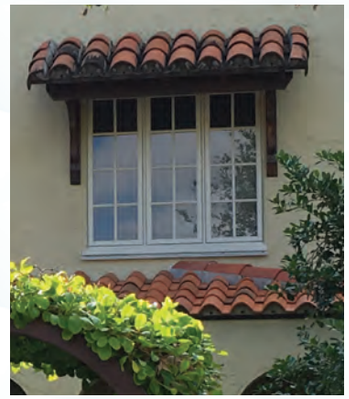
West Palm Beach, Florida

Lake Worth Beach, Florida

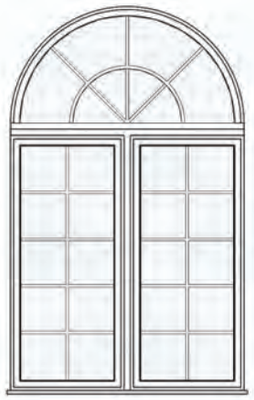
Description of Mediterranean Revival Windows

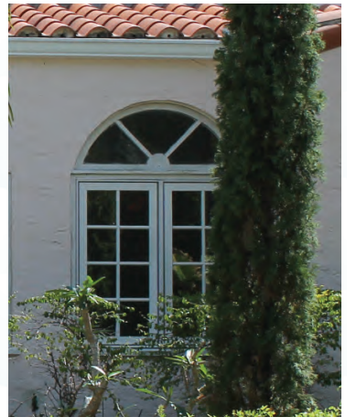
- Mediterranean Revival windows are primarily double-hung, single-hung, or casement type windows.
- Traditionally Mediterranean Revival windows are made of wood.
- Mediterranean Revival windows can be square or vertically proportioned and often might be arched or a decorative shape.
- These windows are inset deep into the exterior wall creating deep sill and shadow lines.
- These windows may or may not be operable (typically windows of an ornamental shape might be fixed).

Four-light wood casement windows



Eight light wood casement windows

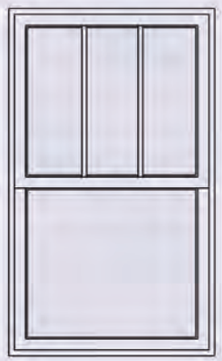


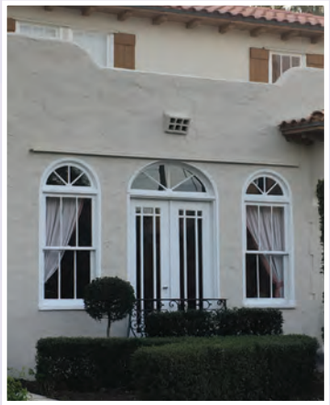


Casements with a rounded fan light

One over one, as single hung or double hung windows.

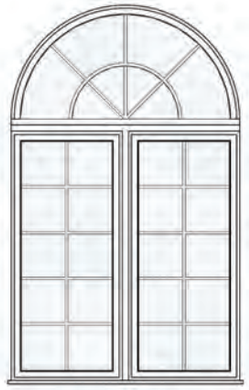
MEDITERRANEAN REVIVAL

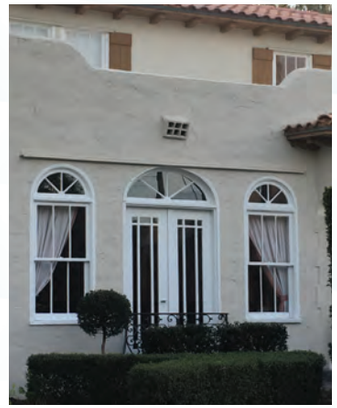




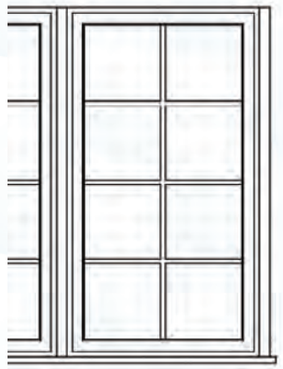
Three-over-one double-hung windows with fan light

Arched wood casement windows





French doors with glass transom above



Casement windows with variation of transom lights above

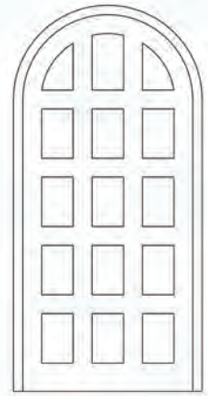
A fine example of Mediterranean Revival architecture in Lake Worth Beach that has a variety of arched window sizes.

Description of Mediterranean Revival Doors

- Mediterranean Revival doors are mainly wood and frequently have a rusticated treatment.
- They often have multiple fixed glass panes and can be arched.
- They are often plank doors and sometimes have small glass inserts.
- The doors can be large with applied wood decorative motifs.

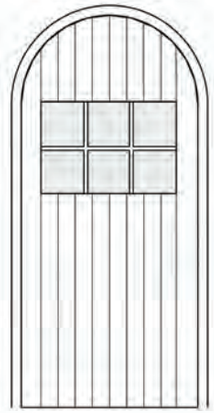
Large plank door with decorative light

Wooden panel door



Arched wooden panelled door

Arched wooden door with fixed window panes



Arched wooden door with fixed window panes

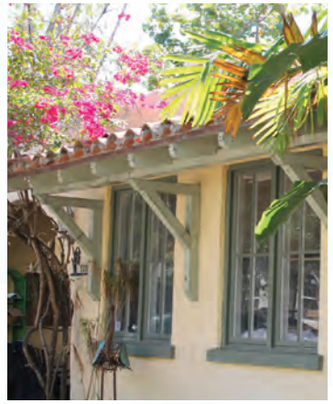
Description of Mediterranean Revival Roofs and Exterior Finishes

- Mediterranean Revival buildings almost always have a medium to heavily textured stucco exterior finish.
- There are often masonry or stucco treatments around windows and doors.
- Mediterranean Revival roofs are almost always clay barrel tile with occasional flat roof sections that might be accessible from an interior room.

Stucco treatments are typically medium to rough in texture.

There are often decorative stucco details around windows and doors

Clay barrel tile is one of the most character defining elements of the Mediterranean Revival style



Barrel tile is used on the main roof, porches, and bracketed overhangs

DEPARTMENT FOR COMMUNITY SUSTAINABILITY
Planning Zoning Historic Preservation Division
1900 2ND Avenue North
Lake Worth Beach, FL 33461
561-586-1687

MEMORANDUM DATE: September 1, 2021

AGENDA DATE: September 8, 2021

TO: Chair and Members of the Historic Resources Preservation Board

RE: **617 North K Street**

FROM: Jordan Hodges, Senior Preservation Coordinator
Abraham Fogel, Preservation Planner
Department for Community Sustainability

TITLE: **HRPB Project Number 21-00100182:** Consideration of a Certificate of Appropriateness (COA) for the construction of a new ± 1,462 square foot single-family structure and a ± 650 square foot accessory structure at **617 North K Street**; PCN #38-43-44-21-15-178-0240. The subject property is located in the Single-Family and Two-Family Residential (SF-TF 14) zoning district and the Northeast Lucerne Local Historic District.

OWNER: Jarkko Vainio
P. O. Box 682200
Park City, UT 84068

APPLICANT: Pamela Russell
P. O. Box 682200
Park City, UT 84068

PROPERTY DEVELOPMENT HISTORY:

A single-story single-family residence was constructed c.1925 in a Wood Frame Vernacular architectural style at 617 North K Street. Although no architectural drawings of the building are available in the City's property files, property cards from the 1940s and 1950s (included as **Attachment A**) describe the structure as being of wood frame construction on a pier foundation, having a gable composition and roll roof, wood windows, and a porch.

PROJECT DESCRIPTION:

The property owner requested that the City's Building Official inspect the property to determine if there were unsafe conditions that would warrant condemnation. On March 3, 2021, the City's Building Official (Peter Ringle) declared the structure was unsafe due to decay, deterioration or dilapidation, and was likely to fully or partially collapse. The condemnation letter is included as **Attachment B**. Pursuant to Land Development Regulation (LDR) Section 23.5-4(m)(3), a COA is not required for the demolition of a contributing building that has been condemned by the City. The demolition of the structure was approved with building permit #21-893. Current photos of the property are included as **Attachment C**.

The applicant, Pamela Russell, is requesting approval for a new single-family structure and accessory structure. The subject property is a 37.5'x135' (5,062.5 square feet) containing one and a half platted lots of record located on the west side of North K Street, between 6th Avenue North and 7th Avenue North in Lake Worth Beach. The vacant property is located in the Single-Family and Two-Family Residential (SF-TF 14) zoning district and retains a Future Land Use (FLU) designation of Medium Density Residential (MDR).

If approved, the subject application would allow the construction of a new single-story single-family residence. The proposed building is designed to replicate a Wood Frame Vernacular building. The application will require the following approval:

1. **COA** for the new construction of a ± 1,462 square foot single-family structure and a ± 650 square foot accessory structure

STAFF RECOMMENDATION: Staff recommends approval with conditions as provided on page 10.

PROPERTY DESCRIPTION:

Owner	Jarkko Vainio
General Location	West side of North K Street, between 6th Avenue North and 7th Avenue North
PCN	38-43-44-21-15-178-0240
Zoning	Single-Family and Two-Family Residential (SF-TF 14)
Existing Land Use	Vacant
Future Land Use Designation	Medium Density Residential (MDR)

SITE ANALYSIS:

Surrounding Properties

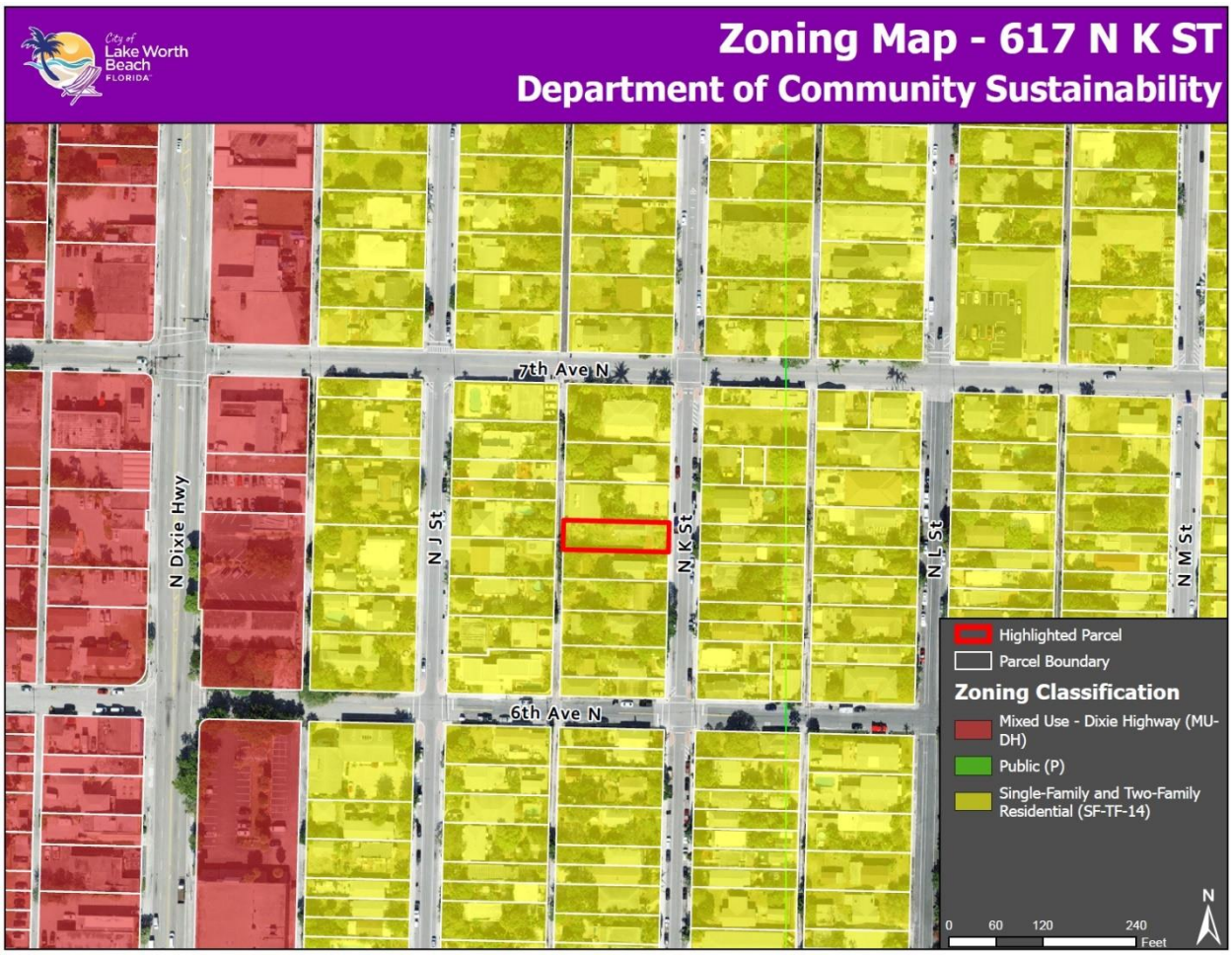
The site is surrounded by residential properties with similar Zoning and FLU designations, and thus, are found to be compatible with the proposed residential use on the subject site. The following summarizes the nature of the surrounding properties adjacent to the subject site:

NORTH: Immediately north of the subject site is a multi-family structure. This area contains a FLU designation of MDR and a zoning designation of SF-TF 14.

SOUTH: Immediately south of the subject site is a single-family structure. This area contains a FLU designation of MDR and a zoning designation of SF-TF 14.

EAST: East of the subject site across the rear alley is a single-family structure. This area contains a FLU designation of MDR and a zoning designation of SF-TF 14.

WEST: West of the subject site across North K Street is a single-family structure. This area contains a FLU designation of MDR and a zoning designation of SF-TF 14.



Consistency with the Comprehensive Plan

The subject is located in the Medium-Density Residential Future Land Use (FLU) designation. Per Policy 1.1.1.3 in the City's Comprehensive, the FLU designation allows for a maximum density of 20 per acre. As the proposed structure is a single-family development and has a proposed density of less than 20 units per acre, it is consistent with the intent of the Medium Density Residential designation.

The proposed single-family structure is also consistent with Goal 3.1 which seeks to achieve a supply of housing that offers a variety of residential unit types and prices for current and anticipated homeowners and renters in all household income levels by the creation and/or preservation of a full range of quality housing units. The project encourages architectural design that complements the City's appearance, consistent with Objective 3.2.4.

LAND DEVELOPMENT CODE REQUIREMENTS:

Land Development Code Requirements		
Code References	**23.3-8 (SF-TF 14); 23.4-10 (Off-street parking)**	
	Required	**Proposed**
Lot Area	5,000 sf.	5,062.5 sf.
Lot Width	50'-0"	37'-6"
Building Height	30'-0" (2 stories) – Primary structure 24'-0" (2 stories) – Accessory structure	18.7' – Primary structure 18.6'– Accessory structure
Setback - Front	20'-0"	20'-0"
Setback - Side	North: 3.75' (10% of lot width) South: 3.75' (10% of lot width)	Primary Structure North: 3'-9" South: 3'-9" Accessory Structure North: 3'-9" South: 11'-1"
Setback - Rear	13'-6" (10% of lot depth) – Primary structure 5'-0" – Accessory structure	58'-6" – Primary structure 13'-6" Accessory structure
Impermeable Surface Total[(1)]	55.0% (2,784.4 sf.)	54.23% (2,754.5 sf.)
Front Yard Impermeable Surface Total	900 sf. or 75% pervious and landscaped	92.45% (693.4 sf.)
Maximum Building Coverage[(1)]	35.0% maximum (1,771.9 sf.)	33.48% (1,695 sf.)
Accessory Structure Limitations	40% of the primary structure area or 1,000 sf., whichever is less	38.35% (650 sf.)
Density/Number of Units	1 dwelling unit	1 dwelling unit
Floor Area Ratio[(1)]	0.50 maximum (2,531.3 sf.)	0.29 (1,462 sf.)

Living Area	800 sf. minimum	1,462 sf.
Parking	Single-family detached on lot less than 50 ft. wide: 1 space per unit	1 space
Parking Dimensions	9'x18' perpendicular or angled off street	9'x18' perpendicular off street

(1)- Medium lot (lots 5,000 square feet to 7,499 square feet)

The proposed new construction project is consistent with all site data requirements in the City's zoning code. The application, as proposed, meets the minimum off-street parking requirements and complies with all impermeable surface requirements, building coverage allotments, and required building setbacks. The proposed site plan is included in this report as **Attachment D.** A landscape plan was also provided in the application, and the proposal will also need to comply with the City's landscape requirements, which will be reviewed at permitting.

Existing Non-Conformities

The existing property is a nonconforming lot of record that does not comply with the minimum lot width provided within Section 23.3-8 of the Lake Worth Beach Land Development Regulations. Pursuant to LDR Section 23.5-3(c), Nonconforming lots of record:

A nonconforming lot of record is a platted lot which by width, depth, area, dimension or location does not meet current standards set forth in these LDRs. ***In any zoning district in which single-family dwelling units are permitted, notwithstanding limitations imposed by other provisions of these LDRs****, a single-family dwelling unit and customary accessory buildings may be erected on any single nonconforming lot of record so platted on or before January 5, 1976.*

The subject property was platted prior to January 5, 1976. Therefore, single-family development is permitted with a customary accessory building.

HISTORIC PRESERVATION ANALYSIS:

All new construction within a designated historic district shall be visually compatible. New buildings should take their design cues from the surrounding existing structures, using traditional or contemporary design standards and elements that relate to existing structures that surround them and within the historic district as a whole. Building design styles, whether contemporary or traditional, should be visually compatible with the existing structures in the district.

The front façade of the new residence features a front porch with decorative railings, posts, and beams that lead to a pair of French doors with decorative light patterns. The front doors are flanked by pairs of single-hung windows with decorative light patterns. The structure is designed utilizing concrete block construction finished with stucco to simulate wood lap siding on the exterior walls. A hip design roof is utilized with dimensional asphalt shingles. The fenestration incorporates single-hung windows with historically compatible window trim, sill, and mullion details. Site features include fences, landscaping, a front walkway, and a rear driveway.

A detached garage is also proposed with the same detailing and exterior finishes as the new residence. A side-loaded porch is proposed on the east elevation of the structure. Recessed panel garage doors are proposed for the vehicular and boat bays. Accessory structures, such as garages, are typically secondary and subordinate to residences in the City's historic districts. However, there are several examples of accessory dwelling units and garage apartments that are two stories in height. The proposed garage has an atypical wall height for a single-story structure because it will accommodate a boat. It's been designed to not exceed the ridge height of the residence which helps mitigate its appearance as visible from the street. The LDRs have regulations that limit height at side setbacks and assist in safeguarding against high continuous walls. Staff has included a condition of approval has been added that the garage shall comply with the maximum wall regulations set forth in LDR Section 23.3-7(c), subject to staff review at permitting.

Section 23.5-4(k)(3)(A) – Review/Decision

In approving or denying applications for certificates of appropriateness for new construction, the City shall also, at a minimum, consider the following additional guidelines which help to define visual compatibility in the applicable property's historic district:

(1) The height of proposed buildings shall be visually compatible and in harmony with the height of existing buildings located within the historic district.

Staff Analysis: The proposed building is consistent with the height of other single-story buildings surrounding the property, and is in harmony with the height of other historic properties in the district.

(2) The relationship of the width of the building to the height of the front elevation shall be visually compatible and in harmony with the width and height of the front elevation of existing buildings located within the district.

Staff Analysis: The width and height of the front elevation of the proposed building are in scale with the surrounding properties.

(3) For landmarks and contributing buildings and structures, the openings of any building within a historic district should be visually compatible and in harmony with the openings in buildings of a similar architectural style located within the historic district. The relationship of the width of the windows and doors to the height of the windows and doors in a building shall be visually compatible with buildings within the district.

Staff Analysis: The proposed single-hung windows and French (glazed) doors are compatible in height and width with the typical windows and doors on the neighboring structures.

(4) The relationship of solids to voids in the front facade of a building or structure shall be visually compatible and in harmony with the front facades of historic buildings or structures located within the historic district. A long, unbroken facade in a setting of existing narrow structures can be divided into smaller bays which will complement the visual setting and the streetscape.

Staff Analysis: Each façade features a rhythm of solids to voids with window and door openings that avoid long, unbroken walls with the exception of the north elevation. The proposal includes a faux shuttered opening on the north elevation of the residence, but the north elevation of the garage lacks fenestration. Staff has included a condition of approval that additional windows or faux openings are added.

(5) The relationship of a building to open space between it and adjoining buildings shall be visually compatible and in harmony with the relationship between buildings elsewhere within the district.

Staff Analysis: The proposed building adheres to setback requirements within the current zoning code.

(6) The relationship of entrance and porch projections to sidewalks of a building shall be visually compatible and in harmony with the prevalent architectural styles of entrances and porch projections on buildings and structures within the district.

Staff Analysis: The new residence features a walkway connecting the front porch to the street. As a result, there is a pedestrian connection between the front door and street.

(7) The relationship of the materials, texture and color of the façade of a building shall be visually compatible and in harmony with the predominant materials used in the buildings and structures of a similar style located within the Northeast Lucerne Local Historic District.

Staff Analysis: The building will utilize concrete block construction finished with simulated stucco wood lap. This is a common and compatible façade material for new construction proposals within the historic districts.

(8) The roof shape of a building or structure shall be visually compatible and in harmony with the roof shape of buildings or structures of a similar architectural style located within the Northeast Lucerne Local Historic District.

Staff Analysis: The hip roof with dimensional asphalt shingles is common for Wood Frame Vernacular style structures in Lake Worth Beach.

(9) Appurtenances of a building, such as walls, wrought iron, fences, evergreen, landscape masses and building facades, shall, if necessary, form cohesive walls of enclosures along a street to insure visual compatibility of the building to the buildings and places to which it is visually related.

Staff Analysis: The new fencing shall be reviewed at permitting to ensure compliance with the current zoning code.

(10)The size and mass of a building in relation to open spaces, the windows, door openings, porches and balconies shall be visually compatible and in harmony with the buildings and places to which it is visually related.

Staff Analysis: The size, massing, and other visual qualities of the proposed new construction are compatible and in harmony with visually related properties.

(11)A building shall be visually compatible and in harmony with the buildings and places to which it is visually related in its directional character: vertical, horizontal or non-directional.

Staff Analysis: The applicant has provided a streetscape showing the building in relation to those to either side of it. The building's height and massing are compatible with other residential structures on the block.

(12)In considering applications for certificates of appropriateness to install mechanical systems which affect the exterior of a building or structure visible from a public right-of-way, the following criteria shall be considered:

(a) Retain and repair, where possible, historic mechanical systems in their original location, where possible.

Staff Analysis: This requirement is not applicable to the new construction project on a vacant property.

(b) New mechanical systems shall be placed on secondary facades only and shall not be placed on, nor be visible from, primary facades.

Staff Analysis: At permitting, staff will review the location of the mechanical systems to ensure they are not visible from the street.

(c) New mechanical systems shall not damage, destroy or compromise the physical integrity of the structure and shall be installed so as to cause the least damage, invasion or visual obstruction to the structure's building materials, or to its significant historic, cultural or architectural features.

Staff Analysis: At permitting, staff will review the location of the mechanical systems to ensure they are ground mounted.

(13)The site should take into account the compatibility of landscaping, parking facilities, utility and service areas, walkways and appurtenances. These should be designated with the overall environment in mind and should be in keeping visually with related buildings and structures.

Staff Analysis: The proposal complies with maximum lot coverage and impermeable surface totals for the SF-TF 14 zoning district. Parking is proposed in the backyard of the property with vehicular access from the alley. Overall, the design of the proposed structure and site are compatible with visually related properties in the Northeast Lucerne Local Historic District. A preliminary landscape plan is included in **Attachment D**.

B. In considering certificates of appropriateness for new buildings or structures, which will have more than one primary facade, such as those on corner lots facing more than one street, the HRPB shall apply the visual compatibility standards to each primary facade.

Staff Analysis: Not applicable, the structure only has one primary façade fronting North K Street.

Historic Preservation Design Guidelines (Wood Frame Vernacular Architectural Style)

The City's Historic Preservation Design Guidelines provide a guide to architectural styles found within the historic districts. The proposal generally adheres to the design features of Wood Frame Vernacular structures, an excerpt of the Historic Preservation Design Guidelines is included as **Attachment E**. This architectural style was described as being built by local craftsman, using locally available materials, and were built to take advantage of (or protect from) the specific environment in which they were built. Ultimately, this meant that the buildings were utilitarian in nature and had very little ornamentation or detailing, other than those elements that had an actual use.

In Lake Worth Beach, Wood Frame Vernacular structures were typically one or two stories, and were built on a foundation of multiple masonry piers. The siding could be horizontal (shiplap, clapboard, weatherboard, single) or vertical (board on batten, weatherboard). Roof types were front gable, side gable, or hipped roofs that were clad in wood shingles, composition shingles, or metal shingles. Roof overhangs generally extended past the walls of the house to provide shade from the sun. Exposed rafter ends and brackets under the eaves were common.

A front porch occasionally extended across the length of the house. Wood doors generally featured glazed panels. Windows were either casement or double-hung sash and made of wood and usually had multiple lights (window panes) in both the top and bottom sash. Windows were often large for maximum ventilation and had plain wood window surrounds, with sills that sloped away from the house to shed water and ornamentation was limited to those elements that were used as part of the structure: shingle accents or a slotted vent in the gable end, porch columns, roof brackets or braces.

Staff Analysis: The proposed design utilizes regularized window sizes, appropriate material usage, and has a balanced layout. The structure as designed utilizes elements of Wood Frame Vernacular architecture commonly found in early twentieth-century residential structures throughout Lake Worth Beach and the resulting drawings propose a compatible design for the Northeast Lucerne Local Historic District. Staff has recommended several standard conditions of approval to further ensure visual compatibility.

PUBLIC COMMENT:

At the time of publication of the agenda, staff has received not received written public comment.

CONCLUSION:

The proposed application is consistent with the City's Land Development Regulations as conditioned and the structure's design and site plan are generally consistent with the Wood Frame Vernacular architectural style and the Historic Preservation Design Guidelines requirements on site considerations. Therefore, staff recommends approval with conditions, listed below, to allow construction of a new ± 1,462 square foot single-family structure and a ± 650 square foot accessory structure.

Conditions of Approval

1) The windows shall utilize a historically compatible sill detail, subject to staff review at permitting.
2) All proposed exterior entry doors shall be compatible with the Wood Frame Vernacular architectural style, and shall be subject to Staff review at permitting.
3) All paired windows shall utilize a 6" wide mullion between windows. Wood trim, fiber-cement trim, or simulated stucco trim shall be utilized to replicate the appearance of historic window details.
4) The windows shall be recessed a minimum of two inches (2") in the wall, and shall not be installed flush with the exterior wall.
5) All divided-light shall be created utilizing exterior raised applied triangular muntins. Exterior flat muntins or "grills between the glass" shall not be permitted. The smaller single-hung windows utilized for bathrooms and utility rooms have a 3/3 divided-light pattern.
6) The windows shall utilize glazing that is clear, non-reflective, and without tint. Low-E (low emissivity) is allowed but the glass shall have a minimum 60% visible light transmittance (VLT) measured from the center of glazing. Glass tints or any other glass treatments shall not be combined with the Low-E coating to further diminish the VLT of the glass.
7) The doors may utilize clear glass, frosted, obscure glass, or glass with a Low-E coating (60% minimum VLT). Tinted, highly reflective, grey, colored, etched, or leaded glass shall not be used.
8) The porch post and beam details shall be constructed out of wood or a wood-look material and shall be compatible with the Wood Frame Vernacular architectural style and shall be subject to Staff review at permitting.
9) The stucco lap siding shall have a texture and profile that is compatible with wood lap siding commonly found on Wood Frame Vernacular style structures and shall have no more than a six inch (6") reveal. The Applicant shall be responsible for contacting Historic Preservation staff to review and inspect a portion of siding prior to completion.
10) The rear 9'x18' driveway shall be extended an additional 10 feet to provide the required backout.
11) The garage shall comply with the maximum wall regulations set forth in LDR Section 23.3-7(c), subject to staff review at permitting.
12) All improved surfaces shall be setback a minimum of 1'-0" from property lines to allow for adequate water runoff within the property boundary.
13) Staff recommends that the north elevation of the garage utilize additional windows or faux shuttered openings to avoid a long expanse of blank façade.

POTENTIAL MOTION:

I MOVE TO **APPROVE** HRPB Project Number 21-00100182 with staff recommended conditions for a Certificate of Appropriateness (COA) for the new construction of a ± 1,462 square foot single-family structure and a ± 650 square foot accessory structure at **617 North K Street,** based upon the competent substantial evidence in the staff report and pursuant to the City of Lake Worth Beach Land Development Regulations and Historic Preservation requirements.

I MOVE TO **DENY** HRPB Project Number 21-00100182 for a Certificate of Appropriateness (COA) for the new construction of a ± 1,462 square foot single-family structure and a ± 650 square foot accessory structure at **617 North K Street,** because the Applicant has not established by competent substantial evidence that the application complies with the City of Lake Worth Beach Land Development Regulation and Historic Preservation requirements.

ATTACHMENTS:

A. Property File Documentation
B. Condemnation Letter – 617 North K Street
C. Current Photos
D. Proposed Architectural Plans
E. Historic Preservation Design Guidelines – Wood Frame Vernacular (Excerpt)

DEPARTMENT FOR COMMUNITY SUSTAINABILITY
Planning Zoning Historic Preservation Division
1900 2ND Avenue North
Lake Worth Beach, FL 33461
561-586-1687

ATTACHMENT A – PROPERTY FILE DOCUMENTATION

MEMORANDUM DATE: September 1, 2021

AGENDA DATE: September 8, 2021

TO: Chair and Members of the Historic Resources Preservation Board

RE: **617 North K Street**

FROM: Jordan Hodges, Senior Preservation Coordinator
Abraham Fogel, Preservation Planner
Department for Community Sustainability

TITLE: **HRPB Project Number 21-00100182:** Consideration of a Certificate of Appropriateness (COA) for the new construction of a ± 1,462 square foot single-family structure and a ± 650 square foot accessory structure at **617 North K Street**; PCN #38-43-44-21-15-178-0240. The subject property is located in the Single-Family and Two-Family Residential (SF-TF 14) zoning district and the Northeast Lucerne Local Historic District.

REAL PROPERTY RECORD
CITY OF LAKE WORTH, FLORIDA

CARD No.
INDEX No.

DESCRIPTION

ADDRESS 617 North K Street.

SEC.	TWP.	RGE.

Waino A Pasonen
~~Elos Pasonon~~

Lot 24 Block 178 Townsite
4 N½ L 25

	KIND OF STRUCTURE	CONSTRUCTION	USE	Cond.	Class	Type
A	COTTAGE	FRAME	RESIDENCE	A	B	
B						
C						

DIAGRAM OF STRUCTURES

EXTERIOR FEATURES

	Foundation	Basement	EXTERIOR WALLS	ROOF TYPE	ROOF MATERIAL	EXT. FINISH	WINDOWS DOORS	PORCHES
A	Con P GRADE A COND.	GRADE X COND.	GRADE FRAME COND. A	GRADE GABLE COND. A	GRADE SLATE SVR COND. A	GRADE SIDING COND. A	GRADE WD D COND. A	GRADE ISC COND.
B	GRADE COND.	GRADE COND.	GRADE COND.	GRADE COND.	GRADE COND.	GRADE COND.	GRADE COND.	GRADE COND.
C	GRADE COND.	GRADE COND.	GRADE COND.	GRADE COND.	GRADE COND.	GRADE COND.	GRADE COND.	GRADE COND.

INTERIOR FEATURES

	Floor Type	Floor Material	INTERIOR WALLS	FINISH	TRIM	ATTIC
A	Double-Single GRADE COND.	PINE GRADE A COND.	PLASTER GRADE A COND.	PAINT GRADE A COND.	WOOD GRADE A COND.	UNF. X FIN. NO. ROOMS
B	Double-Single GRADE COND.	GRADE COND.	GRADE COND.	GRADE COND.	GRADE COND.	UNF. FIN. NO. ROOMS
C	Double-Single GRADE COND.	GRADE COND.	GRADE COND.	GRADE COND.	GRADE COND.	UNF. FIN. NO. ROOMS

INTERIOR FEATURES

	PLUMBING TYPE	PLUMB. FIXTURES	HEATING	LIGHTING
A	GAL GRADE A COND. A	NO. 4 GRADE COND. A	GASS GRADE COND. A	NO. FIXT'S. 6 GRADE COND. A
B	GRADE COND.	NO. GRADE COND.	GRADE COND.	NO. FIXT'S. GRADE COND.
C	GRADE COND.	NO. GRADE COND.	GRADE COND.	NO. FIXT'S. GRADE COND.

EQUIPMENT

	A	B	C
ELEVATORS			
SPRINKLER SYS.			
SOLAR HEATER			
LAUNDRY TRAYS			
Air Conditioning			
STORM SHUTTERS			
INSULATED WALLS			
INSULATED ROOF			
GUTTER & Dn.-Spout			
TYPE OF WIRING	0		
REFRIGERATION	✓		
INDOOR BEDS			
SCREENED	✓		

BUILDING COMPUTATIONS

No.	SIZES	SQ. FT.	HT.	CU. F.	Rate	COST	% COND.	AMOUNT
A	5 X 16	80	10.5	840				
A	14.4 X 45.4	654	10.5	6867				
				7707	5¢	1700	50	850

ROOMS

LIVING	1		
DINING	1		
KITCHEN	1		
BED	2		
BATH	1		

UNITS

STORES			
OFFICES			
APARTMENTS			
GARAGES			

PHOTO A

PHOTO B

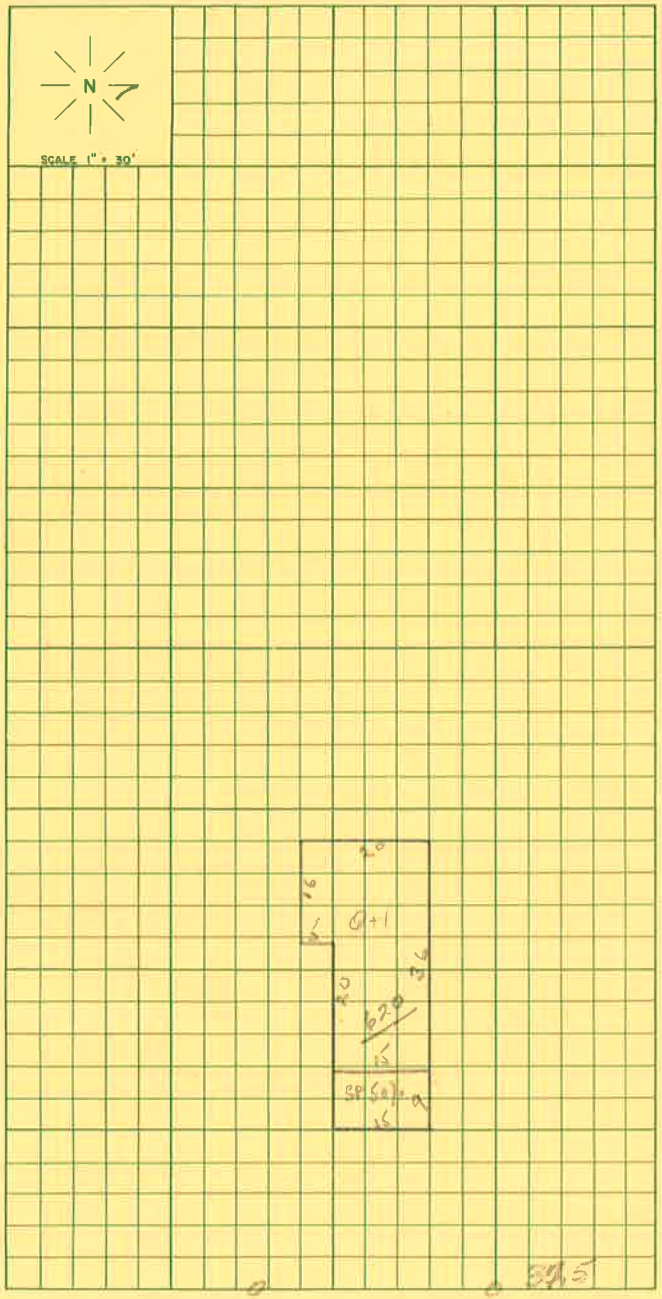
	STORIES	FLOORS	HT. IN FT.	YR. BUILT	YEAR REMODELED	ORIGINAL COST	ADDED COST	EST. LIFE	RATE NEW	Physical Deterioration	Obsolescence	Total Depreciation	% CONDITION
A	1	1	10.5										
B													
C													

FIELDED BY: E K ¾ DATE

APPRAISED BY DATE

1707

RESIDENTIAL
PROPERTY RECORD CARD
LAKE WORTH, FLORIDA



617 N. K. ST.
PROPERTY ADDRESS

PLOTTED		DRAWN BY	WUD	DATE	1-23-56
RANDOM		CLASSED BY		DATE	

HUNNICUTT AND ASSOCIATES, VALUATION ENGINEERS AND CONSULTANTS. STANDARD RPRC-1

CONSTRUCTION DATA

BUILDING	1	2	3	4
1. RES				
2.				
3.				
4.				
SUB-STRUCTURE				
Slab				
Piers	D			
Continuous Wall				
Conc. Bsmt. Floor				
Semifinished Bsmt				
Bsmt. Living Qts.				
WALL FRAME				
Wood	D			
Conc. Block				
Tile				
Brick				
Stone				
Rf. Concrete				
SHEATHING				
Yes	D			
None				
EXTERIOR WALLS				
Unfinished				
Wood	D			
Roll				
Sheet				
Shingles				
Composition				
Metal				
Asbestos				
Stucco				
Com. Brick				
Face Brick				
Stone				
Notes				

BUILDING	1	2	3	4
ROOF				
Flat				
Shed				
Gable	D			
Hip				
Gambrel				
Roll	D			
Sheet				
Shingles				
Composition	D			
Metal				
Wood				
Asbestos				
Tile				
Slate				
Notes				
FLOORS				
Dirt				
Single				
Double	D			
Pine				
Hardwood	D			
Concrete				
Tile				
Terrazzo				
Notes				
INTERIOR WALLS				
Unfinished				
Wall Board				
Ceiling				
Plaster	D			
Panel Board				
Plywood				
Pine Panel				
Hardwood Pan.				
FURRING				
Yes				
None				
Notes				

BUILDING	1	2	3	4
ROOMS				
Res. Rooms	4			
Rental Units				
Efficiency Apts.				
___ Rm. Apts.				
___ Rm. Apts.				
Notes				
PLUMBING				
None				
1 Fixture Toilet				
2 Fixture Toilet				
2 Fixture Bath				
3 Fixture Bath	D			
4 Fixture Bath				
Tile Floor				
1/2 Tile Walls				
Full Tile Walls				
Notes				
HEATING				
None	D			
Chimney				
Fireplace				
Steam				
Hot Water				
Forced Hot Air				
Hot Air				
Notes				
ELECTRICITY				
Yes	D			
None				
EQUIPMENT				
Vent. Fan				
Air Condition				
Insulation				
Notes				

CARDS	MAP NO.	SEC.	TWP.	RNG.	PARCEL NO.
1/1	17/4	22	44	43	11

SUBDIVISION	BLOCK
TOWNSITE	178

LOTS OR DESCRIPTION: 24 & NO. 12.5 FT. OF LOT 25

NOTES

NO.	STYS.	SH.	CLASS	AREA	RATE	FLATS	REPL. COST	DATE BUILT	COND.	ADJ.	VALUE
1	1	R	R3	687	330		2267	1925	45		1020

ACRES	QUANTITY – TYPE DESCRIPTION	DIMENSIONS SQUARE FEET	UNIT PRICE	D.F.	C.F.	PRICE PER FRONT FOOT	VALUE
		32.5 x 135	50 –	1 –		50 –	1880

YEAR	VALUE 1956	VALUE 1966	VALUE 19	VALUE 19	VALUE 19	VALUE 19
LAND	1500	1880				
IMPRS.	2040	2550				
TOTAL	3540	4430				

4430

DEPARTMENT FOR COMMUNITY SUSTAINABILITY
Planning Zoning Historic Preservation Division
1900 2ND Avenue North
Lake Worth Beach, FL 33461
561-586-1687

ATTACHMENT B – CONDEMNATION LETTER

MEMORANDUM DATE: September 1, 2021

AGENDA DATE: September 8, 2021

TO: Chair and Members of the Historic Resources Preservation Board

RE: **617 North K Street**

FROM: Jordan Hodges, Senior Preservation Coordinator
Abraham Fogel, Preservation Planner
Department for Community Sustainability

TITLE: **HRPB Project Number 21-00100182:** Consideration of a Certificate of Appropriateness (COA) for the new construction of a ± 1,462 square foot single-family structure and a ± 650 square foot accessory structure at **617 North K Street**; PCN #38-43-44-21-15-178-0240. The subject property is located in the Single-Family and Two-Family Residential (SF-TF 14) zoning district and the Northeast Lucerne Local Historic District.

City of Lake Worth Beach FLORIDA

BUILDING DIVISION
1900 2ND AVENUE NORTH
LAKE WORTH BEACH, FL 33460

Declaration of unsafe conditions.

March 3, 2021

The Building Official inspected the structure located at 617 North K Street on February 23, 2021. This structure is being declared as unsafe according to the City's unsafe ordinance Section 9-2.2 Abatement of unsafe buildings. The building is being declared as unsafe for the following reasons:

The building as a result of decay, deterioration or dilapidation, is likely to fully or partially collapse. (Sec. 9-2.2(c)(7)

The following are the observations of the building official Peter Ringle from the site visit:

The structure is wood framed and there is a significant amount of termite damage to the flooring and walls. The building is set on foundation piers and several of those piers have settled and the structure has visible deflection in the walls and roof. There is also rotten wood around the base of the structure which compounds the problem.

It is my conclusion that the building is structurally compromised and should be demolished. See attached photographs which document my conclusions.

Peter Ringle
Building Official
Lake Worth Beach

6482 07993
806 600662

ICEHOUSE

DEPARTMENT FOR COMMUNITY SUSTAINABILITY
Planning Zoning Historic Preservation Division
1900 2ND Avenue North
Lake Worth Beach, FL 33461
561-586-1687

ATTACHMENT C – CURRENT PHOTOS

MEMORANDUM DATE: September 1, 2021

AGENDA DATE: September 8, 2021

TO: Chair and Members of the Historic Resources Preservation Board

RE: **617 North K Street**

FROM: Jordan Hodges, Senior Preservation Coordinator
Abraham Fogel, Preservation Planner
Department for Community Sustainability

TITLE: **HRPB Project Number 21-00100182:** Consideration of a Certificate of Appropriateness (COA) for the new construction of a ± 1,462 square foot single-family structure and a ± 650 square foot accessory structure at **617 North K Street**; PCN #38-43-44-21-15-178-0240. The subject property is located in the Single-Family and Two-Family Residential (SF-TF 14) zoning district and the Northeast Lucerne Local Historic District.

NOTICE
This property is being considered for a
HRPB Project # 21-00100182
COA - NEW CONSTRUCTION
SINGLE FAMILY RESIDENCE
For information regarding this case call:
City of Lake Worth Beach PZHP
561-586-1687
DOGBOX
LOT
JOB
WARNING

NOTICE

This property is being considered for a

HDPB Project # 21-00100161

COA - NEW CONSTRUCTION

SINGLE FAMILY RESIDENCE

For information regarding this case call:

City of Lake Worth Beach PZHP

561-586-1687

NOTICE
This property is being considered for a
HPB Project # 21-0100182
COA - NEW CONSTRUCTION
SINGLE FAMILY RESIDENCE

DEPARTMENT FOR COMMUNITY SUSTAINABILITY
Planning Zoning Historic Preservation Division
1900 2ND Avenue North
Lake Worth Beach, FL 33461
561-586-1687

ATTACHMENT D – PROPOSED ARCHITECTURAL PLANS

MEMORANDUM DATE: September 1, 2021

AGENDA DATE: September 8, 2021

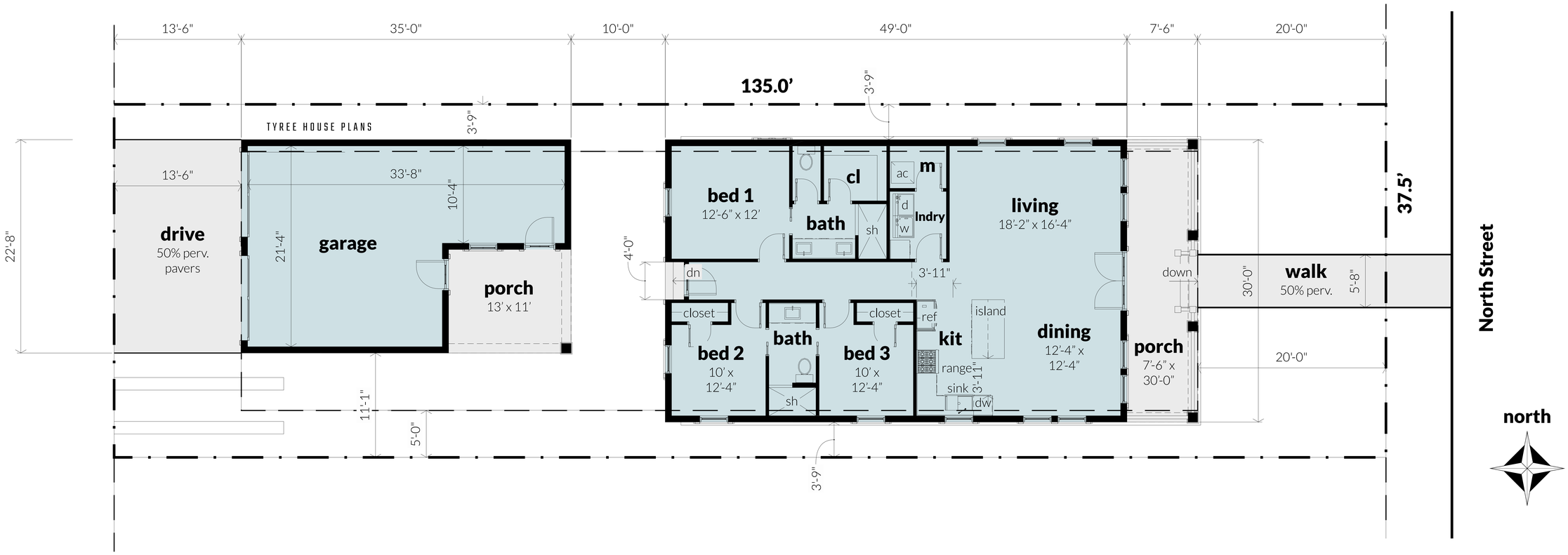
TO: Chair and Members of the Historic Resources Preservation Board

RE: **617 North K Street**

FROM: Jordan Hodges, Senior Preservation Coordinator
Abraham Fogel, Preservation Planner
Department for Community Sustainability

TITLE: **HRPB Project Number 21-00100182:** Consideration of a Certificate of Appropriateness (COA) for the new construction of a ± 1,462 square foot single-family structure and a ± 650 square foot accessory structure at **617 North K Street**; PCN #38-43-44-21-15-178-0240. The subject property is located in the Single-Family and Two-Family Residential (SF-TF 14) zoning district and the Northeast Lucerne Local Historic District.

TYREE HOUSE PLANS



Site Data Table		
	Required	**Proposed**
Lot Area	5,000 sf	5,062.50 sf
Lot Width	50'	37.5'
Building Height	30' (house) and 24' (accessory structure)	18.7' (house) and 18.6' (accessory structure)
Setback - Front	20'	20'
Setback - Side	3.8' (3' minimum)	3'-9" for residence, 3'-9" (N) and 11'-1" (S) for accessory
Setback - Rear	13'-6" for residence, 5' for accessory	58'-6" for residence, 13'-6" for accessory
Impermeable Surface Total	2,784.38 sf (55% of medium lot, 5000-7499 sf)	2,745.54 sf
Front Yard Permeable Surface Total	750 sf (75% pervious and landscaped)	693.4 sf (92.45%)
Maximum Building Coverage (residence)	1,771.88 sf (35% of medium lot, 5000-7499 sf)	1,695 sf (33.48%)
Accessory Structure Limitation	678 sf (40% of principal structure or 1000sf)	650.1 sf (38.35%)
Floor Area Ratio	50% (2,531.25sf)	28.879% (1,462sf)
Living Area (minimum)	800 sf	1,462 sf
Parking	1 parking space	1 parking space
Parking Dimensions	9' x 18' perpendicular or angled	9' x 18' provided in garage
Roof Overhang	24" maximum	24"

AREA CALCULATIONS - MAIN HOUSE

1,462 sf **Living**
225 sf Front Porch
8 sf Rear Steps
1,695 sf **Under Roof**

AREA CALCULATIONS - GARAGE

650.1 sf **Garage**
143 sf Porch
793.1 sf **Under Roof**

tyreehouseplans.com
865-269-2611
sales@tyreehouseplans.com
PO Box 51702
Knoxville, TN 37950

IMPORTANT DATES

These house plan documents were released on August 4, 2021

CUSTOMIZE

We can change this house plan to fit your needs. To get a free quote and design sketches, go to tyreehouseplans.com/customize

COPYRIGHT

Tyree House Plans (THP) reserves the rights to these documents and to all designs contained herein. No copies or alterations are to be made without written permission. All plans designed by THP are protected under Federal Copyright Act, Title 17 of the United States Code, and Chapter 37 of the Code of Federal Regulations.

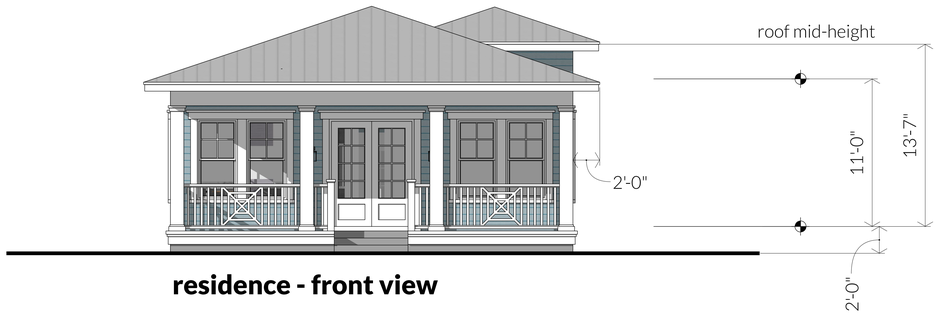
DISCLAIMER

Placement of residence is based on owner's desired location and governing authority regulations. Every property has inherent risks due to location and acts of God which may cause damage to structures built on said property and bodily injury or death to the occupants of said structures. THP does not in any way guarantee the suitability of any area for construction or habitation, and will not be held liable for damages based on the location of said structure. General Contractor to verify all field conditions, code requirements, insure compliance of proposed structure with said conditions, verify all dimensions and techniques in construction documents, and notify THP of any discrepancies before construction.

INDEX OF PAGES

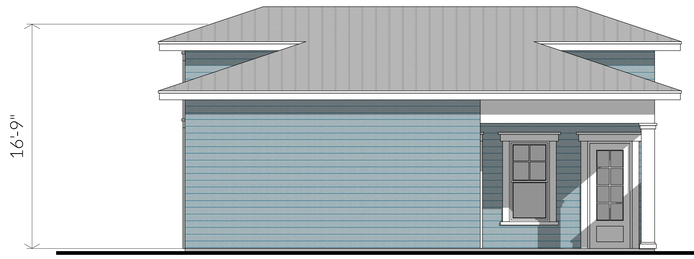
01 Site, Floor Plan Artwork, Calculations
02 Exterior Elevations
03 Landscape Plan, Streetscape
04 Perspective Views

TYREE HOUSE PLANS



residence - front view

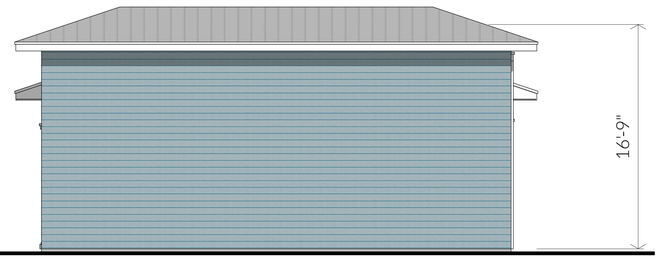
residence - rear view



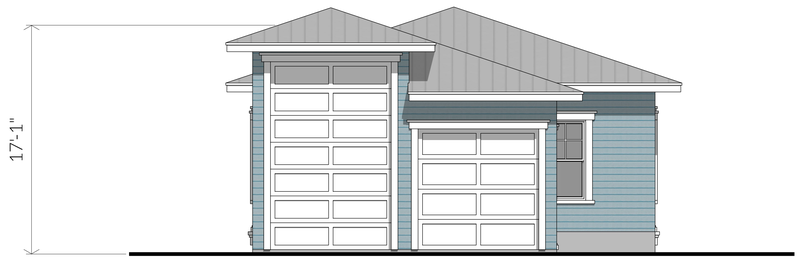
accessory - left view

residence - left view

residence - right view



accessory - right view



accessory - rear view

accessory - front view

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IMPORTANT DATES

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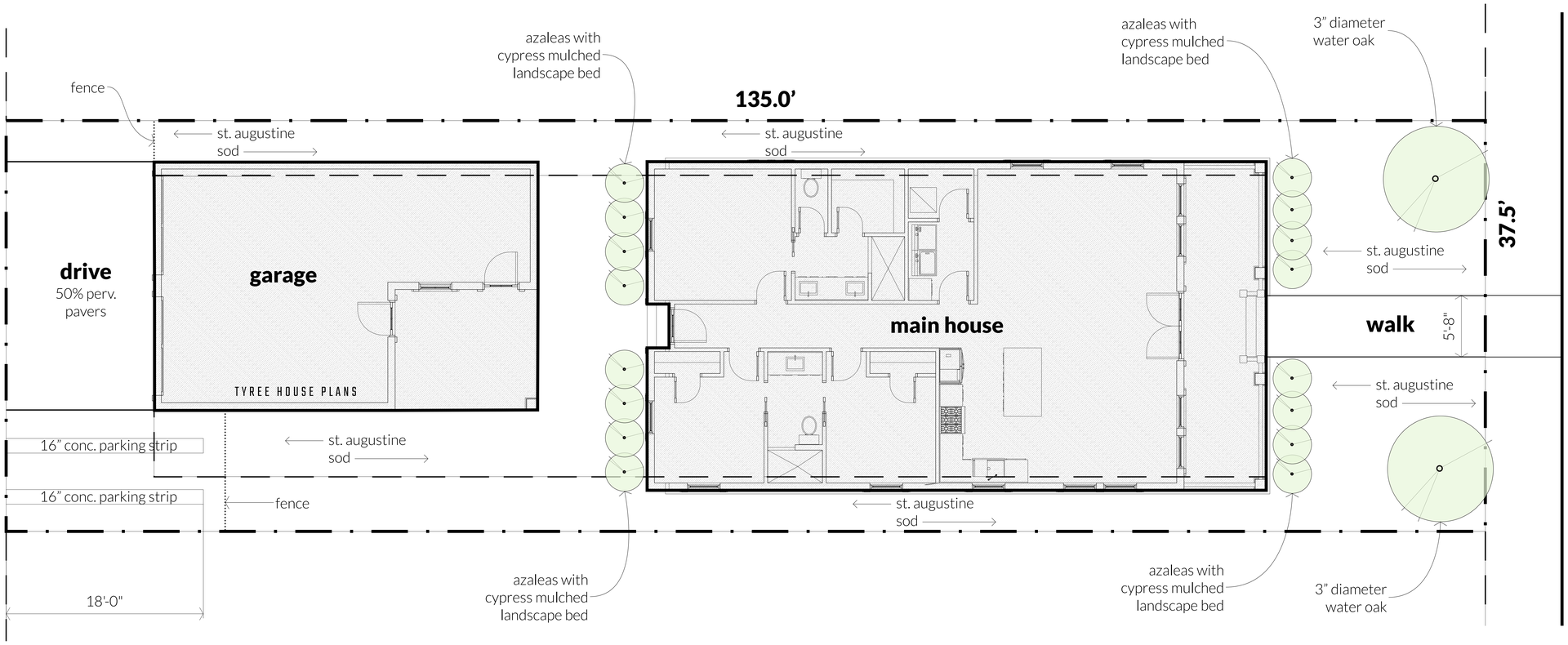
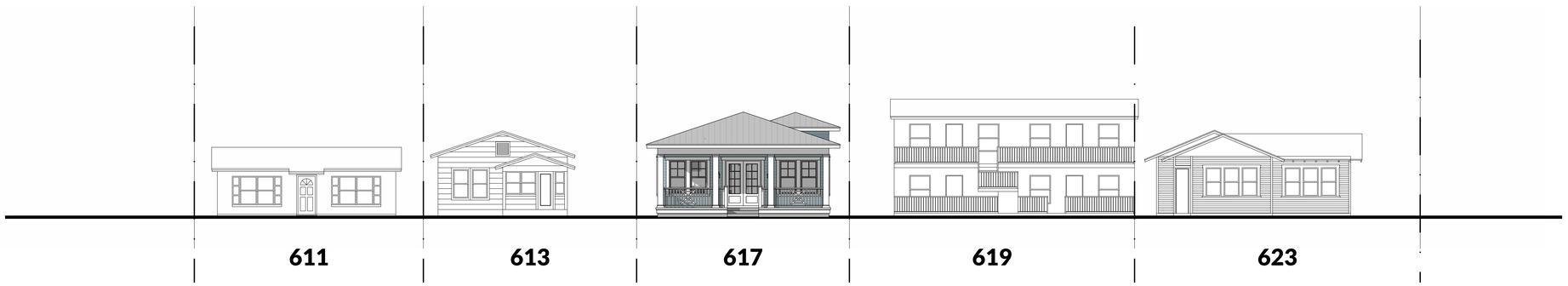
04 Perspective Views

landscape plan





Streetscape for 611-623 North K Street, Lake Worth, FL

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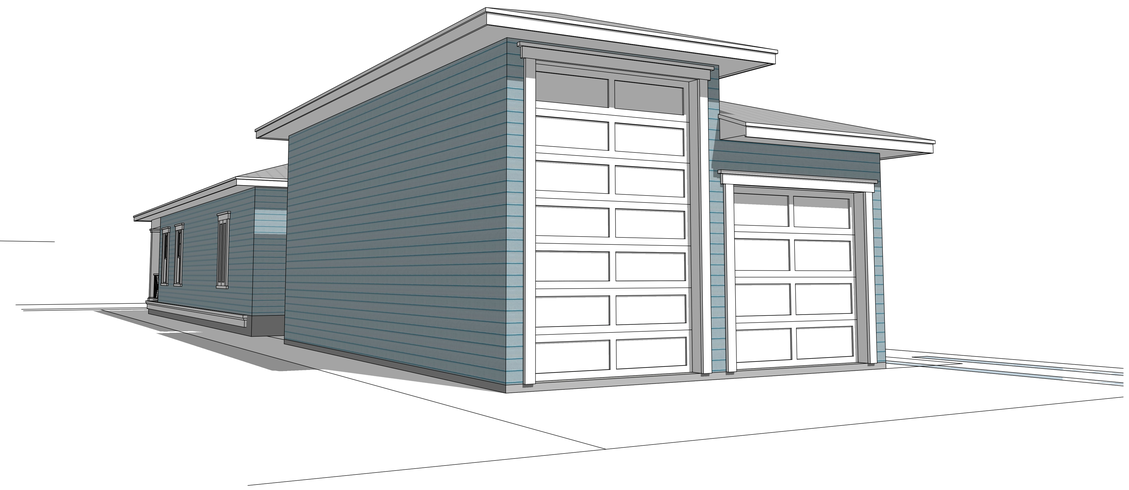
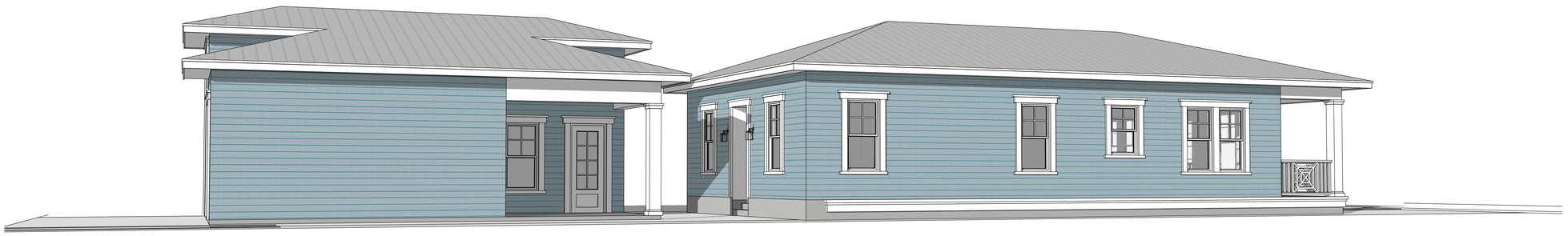
TYREE HOUSE PLANS





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LEGAL DESCRIPTION

LOT 24, BLOCK 178, IN THE TOWNSITE OF LUCERNE, ACCORDING TO THE PALM BEACH FARMS COMPANY'S PLAT NO. 2, RECORDED IN PLAT BOOK NO. 2, PAGES 29 TO 40, IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT OF PALM BEACH COUNTY. (THE TOWNSITE OF LUCERNE IS NOW KNOWN AS LAKE WORTH)

THE NORTH TWELVE AND ON HALF (12 1/2) FEET OF LOT TWENTY-FIVE (25) IN BLOCK ONE HUNDRED SEVENTY-EIGHT (178), IN THE TOWNSITE OF LUCERNE (NOW KNOWN AS LAKE WORTH), ACCORDING TO THE PALM BEACH FARMS COMPANY PLAT NO. 2, RECORDED IN PLAT BOOK NO. 2, PAGES 29 TO 40, IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT OF PALM BEACH COUNTY, STATE OF FLORIDA.

PROPERTY ADDRESS
617 NORTH K STREET
LAKE WORTH, FL 33460

INVOICE NUMBER 01-63054

DATE OF FIELD WORK 01/26/2015

CERTIFIED TO
ESTHER M. PASONEN

FLOOD ZONE C - 120213 - 0001 - C

General Notes:
1. THIS SURVEY IS BASED UPON RECORD INFORMATION PROVIDED BY CLIENT. NO SPECIFIC SEARCH OF THE PUBLIC RECORD HAS BEEN MADE BY THIS OFFICE UNLESS OTHERWISE NOTED.
2. IF THIS SURVEY HAS BEEN PREPARED FOR THE PURPOSES OF A MORTGAGE TRANSACTION, ITS SCOPE IS LIMITED TO THE DETERMINATION OF TITLE DEFICIENCIES. NO FUTURE CONSTRUCTION SHALL BE BASED UPON THIS SURVEY WITHOUT FIRST OBTAINING APPROVAL AND/OR UPDATES FROM LANDTEC SURVEYING. LANDTEC SURVEYING ASSUMES NO RESPONSIBILITY FOR ERRORS RESULTING FROM FAILURE TO ADHERE TO THIS CLAUSE.
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6. ELEVATIONS ARE BASED UPON NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D. 1929) OR NORTH AMERICAN VERTICAL DATUM (N.A.V.D. 1988) AS SHOWN ABOVE.
7. ALL BOUNDARY AND CONTROL DIMENSIONS SHOWN ARE FIELD MEASURED AND CORRESPOND TO RECORD INFORMATION UNLESS SPECIFICALLY NOTED OTHERWISE.
8. CORNERS SHOWN AS "SET" ARE IDENTIFIED WITH A CAP MARKED LB (LICENSED BUSINESS) # 6799.

I HEREBY CERTIFY THAT THIS BOUNDARY SURVEY MEETS THE MINIMUM TECHNICAL STANDARDS FOR SURVEYS, AS SET FORTH BY THE FLORIDA BOARD OF SURVEYORS AND MAPPERS IN CHAPTER 5J-17.051 & 5J-17.052 OF THE FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, AND THAT THE ELECTRONIC SIGNATURE AND SEAL HEREON MEETS PROCEDURES AS SET FORTH IN CHAPTER 5J-17.062. PURSUANT TO SECTION 472.025, FLORIDA STATUTES.

Andrew Snyder License Number LS 5639 STATE OF FLORIDA Professional Surveyor and Mapper

Digitally signed by Andrew Snyder, P.S.M.
DN: cn=Andrew Snyder, P.S.M., o=Landtech Surveying, ou, email=asnyder@landtechsurvey.com, c=US
Date: 2015.01.28 16:17:51 -05'00'

DATE: 01/28/2015

ANDREW SNYDER - PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA REGISTRATION No. 5639 *(NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OR ELECTRONIC SEAL OF THE FLORIDA LICENSED SURVEYOR AND MAPPER SHOWN ABOVE)*

Legend/Abbreviations:
A = Arc Length
CA = Central Angle
C/L = Centerline
CF = Computed from Field Measure
CR = Computed from Record data
CATV = Cable TV Riser
DE = Drainage Easement
Ease = Easement
EOW = Edge of Water
FF = Finished Floor
FIP = Found Iron Pipe
FIR = Found Iron Rod
FN = Found Nail
L = Per Legal Description
M = Measured
OHC = Overhead Cable
ORB = Official Records Book
P = Per Plat
P/L = Property Line
PC = Point of Curvature
PCC = Point of Compound Curvature
PK = Parker Kalon Nail
POB = Point of Beginning
POC = Point of Commencement
PRC = Point of Reverse Curvature
R/W = Right-of-Way
TR = Telephone Riser
UE = Utility Easement
WM = Water Meter
UP = Utility Pole
CATV = Cable TV Riser
DE = Drainage Easement
Ease = Easement

FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS

LANDTEC
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SCALE: 1"=30'

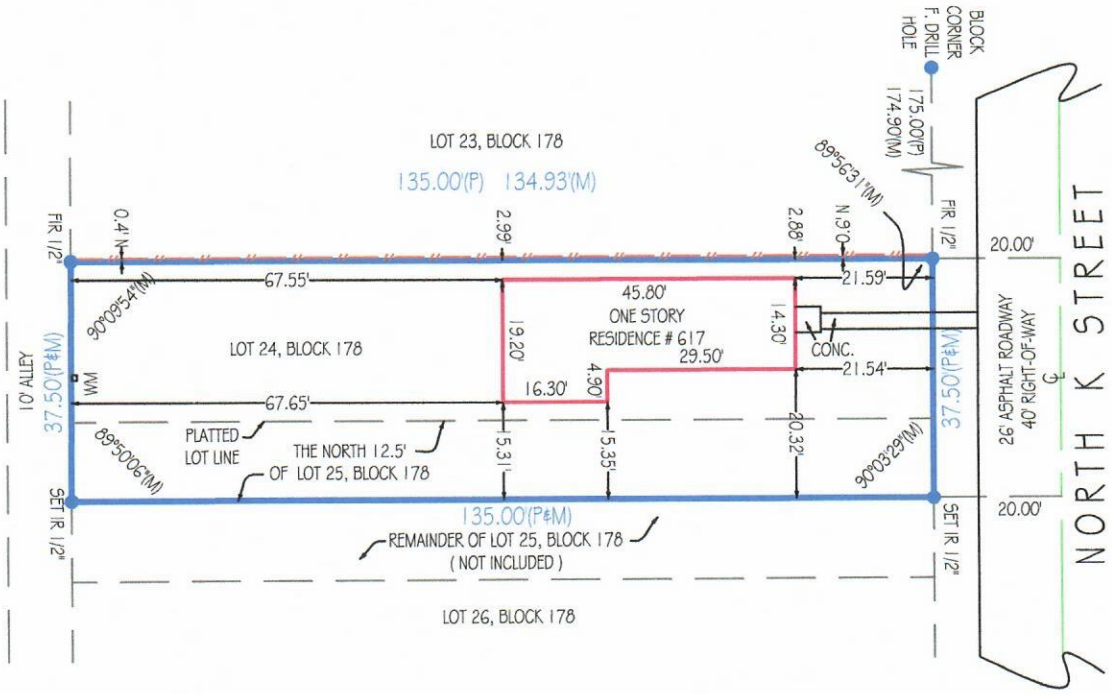
LINETYPE LEGEND:

- BOUNDARY LINE
- BUILDING LINE
- CENTERLINE
- EASEMENT LINE
- CHAIN LINK FENCE
- WOODEN FENCE
- OVERHEAD CABLE

ENCROACHMENTS SHOWN IN RED LETTERING

LEGEND:

CA DENOTES CENTRAL ANGLE
CATV DENOTES CABLE T.V. BOX
CH DENOTES CHORD DISTANCE
DE DENOTES DRAINAGE EASEMENT
FIP DENOTES FOUND IRON PIPE
FIR DENOTES FOUND IRON ROD
FN DENOTES FOUND NAIL
M DENOTES MEASURED
OHC DENOTES OVERHEAD CABLE
P DENOTES PLAT
PP DENOTES POOL PUMP
R DENOTES RADIUS
TR DENOTES TELEPHONE RISER
UE DENOTES UTILITY EASEMENT
UP DENOTES UTILITY POLE
WM DENOTES WATER METER



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SUBJECT PROPERTY IS SERVICED BY PUBLIC UTILITIES.
THIS SURVEY IS APPROVED FOR CONSTRUCTION BY LANDTEC SURVEYING.

BEARING REFERENCE: NONE. RECORD INFORMATION LACKS ANGULAR DATA.
ALL ANGULAR DATA SHOWN BASED UPON FIELD OBSERVATION ONLY.

Notable Conditions - Please note the following:
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Invoice Number :	01-63054
Drawn By :	E. VARELA
Date of Field Work :	01/26/2015
Revision :	
Revision :	
Revision :	

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DEPARTMENT FOR COMMUNITY SUSTAINABILITY
Planning Zoning Historic Preservation Division
1900 2ND Avenue North
Lake Worth Beach, FL 33461
561-586-1687

ATTACHMENT E – DESIGN GUIDELINES: WOOD FRAME VERNACULAR

MEMORANDUM DATE: September 1, 2021

AGENDA DATE: September 8, 2021

TO: Chair and Members of the Historic Resources Preservation Board

RE: **617 North K Street**

FROM: Jordan Hodges, Senior Preservation Coordinator
Abraham Fogel, Preservation Planner
Department for Community Sustainability

TITLE: **HRPB Project Number 21-00100182:** Consideration of a Certificate of Appropriateness (COA) for the new construction of a ± 1,462 square foot single-family structure and a ± 650 square foot accessory structure at **617 North K Street**; PCN #38-43-44-21-15-178-0240. The subject property is located in the Single-Family and Two-Family Residential (SF-TF 14) zoning district and the Northeast Lucerne Local Historic District.

Wood Frame Vernacular

WOOD FRAME VERNACULAR

Lake Worth, Fla.

A Style Introduction:

Imagine a wilderness so dense you had to crawl through jungle-like conditions in order to just move around. Mosquitoes so thick, moving like looming black clouds, attacking relentlessly against beast and man that had no defense. There were no roads, no post offices, no stores. This was the Palm Beach County of the mid-1800s.

When the Second Seminole War ended in 1842, the first non-native settlers built around the largest freshwater source in the area, Lake Worth. The function of their first buildings were simply to provide shelter. This was not "architecture" being designed by architects; the first homes, churches, and general stores were being built by local craftsmen who had learned the building trade from their parents and grandparents and were using any locally available materials in order to accomplish this.

Since trees were plentiful, wood frame buildings were the most common type of early construction in South Florida. These were homes that were built specifically to respond to the environmental conditions and had very little decoration or ornamentation. Pre-1880s, most construction was post and beam, which is where vertical wooden posts hold up large horizontal wooden beams as the basis for the structure. These timbers were usually held together not with nails but with complex joinery that required skilled craftsmen (joinery happens at the ends of the wood timbers that are chiseled in such a way so that the pieces lock together like a puzzle).

As more people came to the region, it was necessary to find a way to build homes faster and less costly. With new saw mills and industrialization, dimensional lumber (pieces of wood that were milled in specific dimensions like a 2x4), and nails became more readily available. This allowed the homes to be built not with large, heavy timbers but with long, thin, pieces of wood. This was called balloon framing, and allowed for buildings to get taller, since the framing could go from the floor plate to the roof with one continuous piece of wood.

There were a variety of names given to different types of wood frame houses, that essentially described the shape of the house or how the rooms were configured. These included single-pen, hall and parlor, dog-trot, and I-house. Other wood frame houses more commonly known today are the Shotgun house and the "Conch" House (the Bahamian-influenced style of wood-frame housing often seen in Key West or Miami.) The Shotgun house is called that because it is one room wide, and several rooms deep (you could look right through the house from front to back, or a shotgun blast would travel from front to back without hitting a wall). This long, narrow form was very convenient when there were narrow lots to contend with.

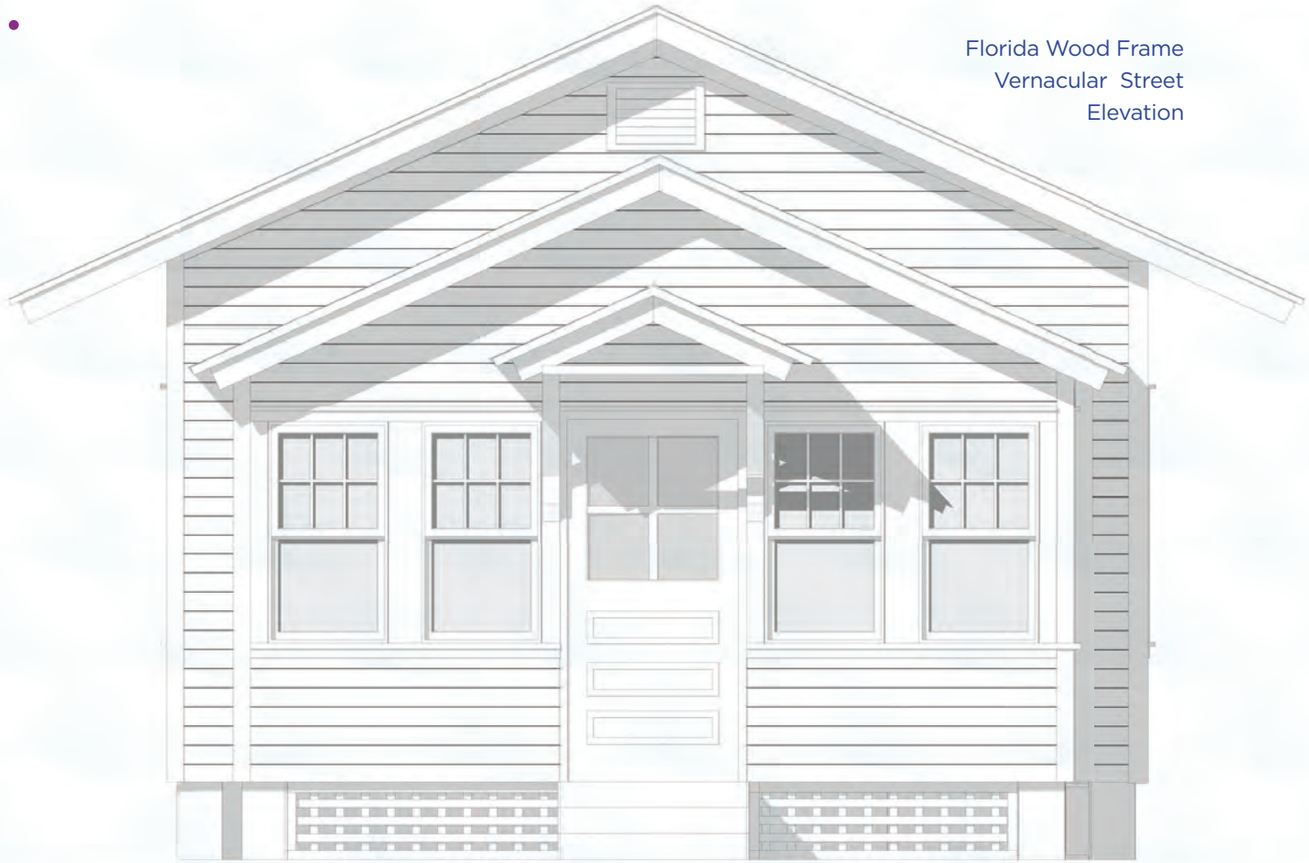
Builders continued to provide structures like this into the 1920s. But as the Bungalow style (and others) became popular, architect-designed plans for homes became an important indicator of social class, and the simple frame housing tradition rooted in previous generations began to die out. Updated versions of these simple wood frame houses were still occasionally being constructed into the 1940s.

Lake Worth Beach, Fla.

WOOD FRAME VERNACULAR

Wrap-around porch in an Apalachicola, Florida home.

Wood Frame Vernacular house with gabel end stoop overhang, Lake Worth Beach, Fla.



Florida Wood Frame
Vernacular Street
Elevation

A Style Described:

The common factor in all wood-frame vernacular structures is that they were built by local craftsmen, using locally available materials, and were built to take advantage of (or protect from) the specific environment in which they were built. Ultimately, this meant that the buildings were utilitarian in nature and had very little extra decoration or detailing, other than those elements that had an actual use.

In South Florida, the wood frame building was one or two stories, and was built on a foundation of multiple masonry piers. This provided a crawl space underneath the house to allow the air to circulate underneath, which helped cool the house in the days before air-conditioning. The siding could be horizontal (ship lap, clapboard, weatherboard, shingle), or vertical (board and batten, weatherboard).

Roof types were front gable, side gable, or hip roof. Less common but still present was the pyramidal hip roof. Roofs were typically steep in nature (to help pull the hot air out of the house) and were clad in wood shingles, composition shingles, or metal shingles. Roof lines generally extended past the walls of the house to provide shade from the sun. Exposed rafter ends and brackets under the eaves were common.

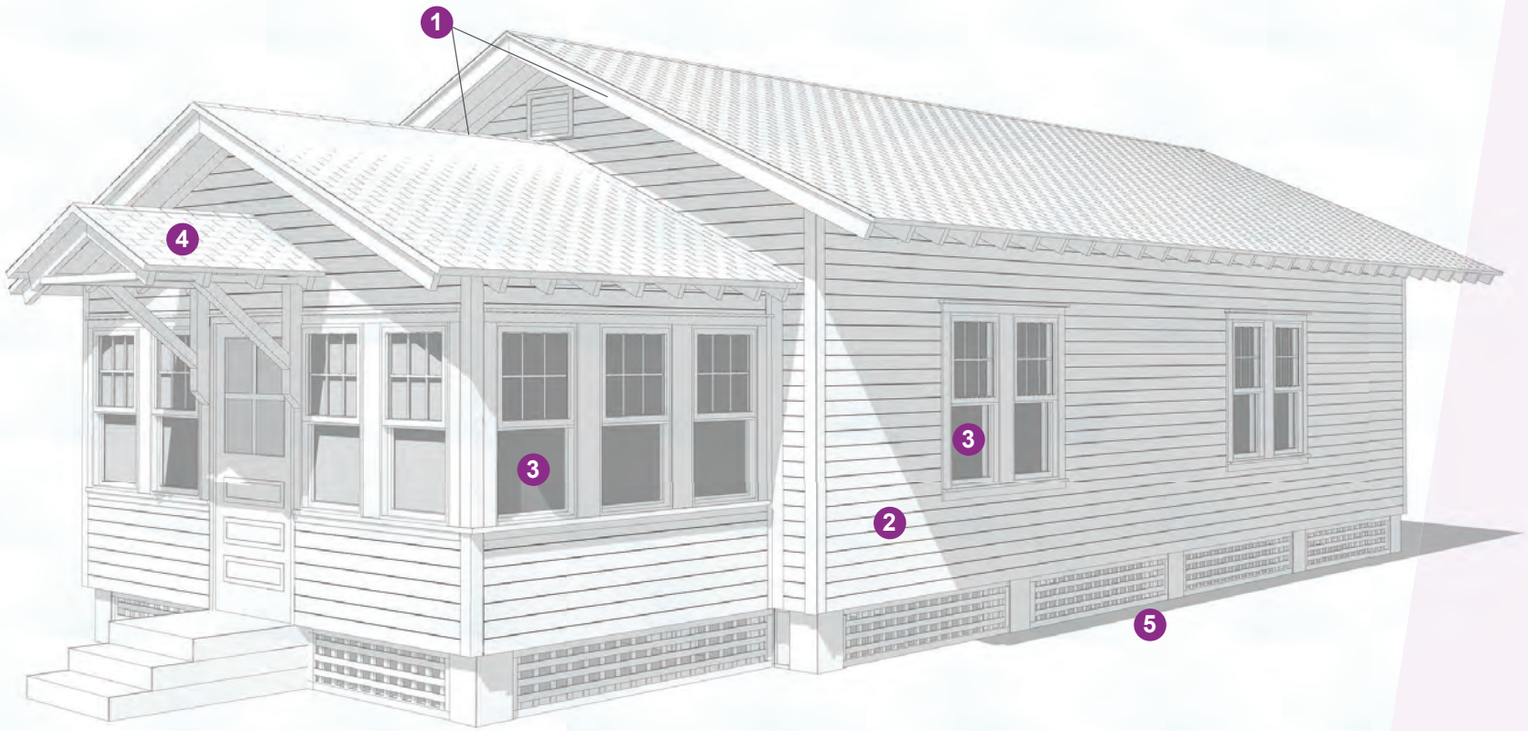
WOOD FRAME VERNACULAR

Lake Worth Beach, FL

A front porch occasionally extended across the length of the house. Wood doors had glazed panels. Windows were either casement or double-hung sash and made of wood ("double-hung" means that the top sash can move down and the lower sash can be raised up) and usually had multiple lights (window panes) in both the top and bottom sash. Windows were often large for maximum ventilation and had plain wood window surrounds, with sills that sloped away from the house to shed water.

Ornamentation was limited to those elements that were actually used as part of the structure: shingle accents or a slotted vent in the gable end, porch columns, roof brackets or braces. Oolitic limestone, a locally available material for much of South Florida, was sometimes used to clad foundation walls or supports and chimneys.

Lake Worth Beach, FL



A Style Defined:

1. **Roofs:**
   - Roofing material typically wood shingle/shake, metal shingle, or rolled roofing.
   - Roof is typically a gable, cross gable, or pyramidal in order to draw hot air up and out through vents.

2. **Exterior Finishes and Features:**
   - Can be one or two-story.
   - Construction is wood frame.
   - Limited decoration or ornamentation.
   - Ventilation panels in the gable end under eaves.
   - If there is any decoration on the house, it would typically be exposed rafter beams or roof brackets or a shingle pattern in the wooden siding.
   - Siding is typically wood lap or wood shingle

3. **Doors & Windows:**
   - Windows are typically tall, 1:2 vertical proportion, double hung wood sash to provide for maximum ventilation.
   - Wood casements often used in the porch.
   - Simple wood door and window surrounds.
   - If shutters present, they are typically wood board and batten or recessed panel.

4. **Porches and Stoops:**
   - Porch posts are simple columns or boxed-in posts.
   - Front steps are typically wood or concrete and only slightly wider than the door.
   - A projecting bracketed overhang is common over the front door.

5. **Foundation**
   - Foundations are typically piers with lattice screens.

WOOD FRAME VERNACULAR

GALLERY OF EXAMPLES

Lake Worth Beach, FL

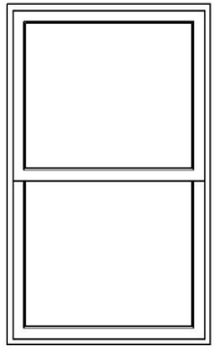
Lake Worth Beach, FL

Lake Worth Beach, FL

Lake Worth Beach, FL

Description of Wood Frame Vernacular Windows

- Wood Frame Vernacular windows are primarily double-hung, single-hung, or casement type windows.
- Traditionally these windows are made of wood and are characterized by unique divided light patterns.
- The Wood Frame Vernacular windows are always vertical or square, and typically 1:2 in their proportion.
- These windows are inset deep into the exterior wall creating deep sill and shadow lines.
- It is perfectly acceptable for Wood Frame Vernacular windows to be protected by permanent, operable shutters which are the best way to protect the windows.
- Wood Frame Vernacular windows are always surrounded by wood trim with distinct header and sill details.



One-over-one windows are common in Wood Frame Vernacular buildings

Three over one

Four over one in a grid

Four-over-one windows

WOOD FRAME VERNACULAR

Four over one wood double-hung windows grouped in pairs

Paired three over three windows

Multi-light wood casement windows in a Wood Frame Vernacular porch

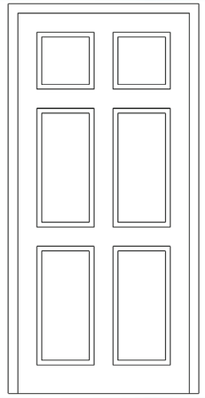
These are aluminum awning windows are not original but later replacements

These are paired six over one wood casement windows

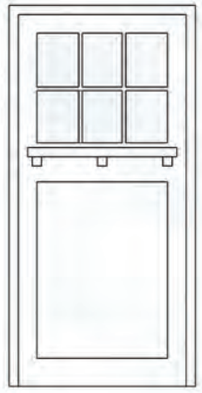
Description of Wood Frame Vernacular Doors

- Wood Frame Vernacular doors are mainly wooden and usually have recessed panels with window panes.
- The doors usually have a three-panel bottom with four or nine lights above. They characteristically also have two vertical panels below with three-to-six lights above sitting on a sill.

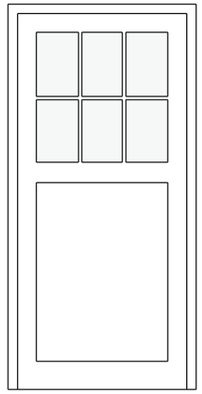
Lake Worth Beach, FL



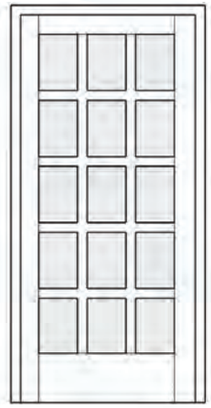
Recessed Panel Wood Frame Vernacular door



This three-panel door with a single large light resting on a sill is a common Wood Frame Vernacular door



This four light door is also common



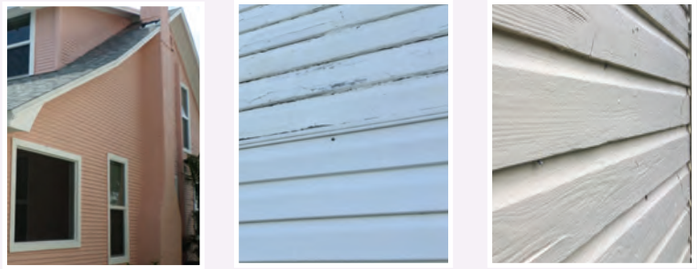
This 15-lite "French" door is also a common door type in the Wood Frame Vernacular style

WOOD FRAME VERNACULAR

Description of Wood Frame Vernacular Roofs and Exterior Surfaces

- Wood Frame Vernacular roofs were typically wood shake or shingle, or rolled roofing. They were commonly replaced later with asphalt shingles and sometimes metal shingles.

- True to its name, Wood Frame Vernacular structures are covered with wooden horizontal siding, board and batten, or wood shingles.



There are many types of historical wood siding. Illustrated above, from left to right, double lap siding, lap siding, and drop cove siding.

Board and Batten

Wood shingles

Wood lap siding

Wood shingles